



Office of General Services

**DESIGN & CONSTRUCTION GROUP
THE GOVERNOR NELSON A. ROCKEFELLER
EMPIRE STATE PLAZA
ALBANY, NY 12242**

ADDENDUM NO. 3 TO PROJECT NO. 45382

**HAZARDOUS, CONSTRUCTION, HVAC, PLUMBING, AND ELECTRICAL WORK
RENOVATE BUILDING 8, 8TH & 9TH FLOOR
STATE OFFICE BUILDING CAMPUS
1220 WASHINGTON AVE.
ALBANY, NY**

October 25, 2024

NOTE: This Addendum forms a part of the Contract Documents. Insert it in the Project Manual. Acknowledge receipt of this Addendum in the space provided on the Bid Form.

BIDDING REQUIREMENTS

1. DOCUMENT 001114 ADVERTISEMENT FOR BIDS: The last date for receipt of bids is changed from Wednesday, October 30, 2024 to Wednesday, November 6, 2024.

GENERAL REQUIREMENTS - COMMON DOCUMENTS

2. SECTION 011000 SUMMARY OF THE WORK: Discard the section bound in the Project Manual and any previously issued modifications, use the accompanying section (Pages 011000-1 through 011000-11), noted "Revised 10/23/2024".

PLUMBING WORK SPECIFICATIONS

6. Page 211300-4, Add Article 2.09 to read:
"2.19 FLEXIBLE SPRINKLER HOSE FITTINGS
A. Fitting shall conform to NFPA 13. FM approved pursuant to FM 1637 Approved Standard for Flexible Sprinkler Hose Fittings for fire protection service. UL listed pursuant UL 2443 Standard for Flexible Sprinkler with Fittings for Fire Protection Service. Flexible hose assembly and end fittings shall be type 304 stainless steel. UL listed and FM approved 300 psi maximum pressure rating. Fully welded non mechanical fittings."
7. Page 221100-9, Paragraph 3.07.B.: Add sub-paragraph 2.to read:
"2. 5" inch to 8 inch: Shall be one of the following:

- a. Galvanized-steel pipe and nipples; galvanized, gray-iron threaded fittings; and threaded joints.
- b. Galvanized-steel pipe; grooved-joint, galvanized-steel-pipe appurtenances; and grooved joints.”

HAZARDOUS MATERIALS WORK DRAWINGS

- 18. Drawing No. H-001: GENERAL ABATEMENT NOTES
 - a. Add Note 12 to read:
 - “12. The concrete and metal floor/ceiling slabs from the basement level up to and including the 9th floor slab are considered contaminated with asbestos. The previously abated 9th floor ceiling/roof deck and penthouse level floors and ceilings are considered non-asbestos.”
- 19. Drawing No. HC-105: General Sheet Notes
 - a. Add Note 3 to read:
 - “3. THE C-CONTRACT TEMPORARY EXTERIOR HOIST SYSTEM SHALL UTILIZE THE PREVIOUSLY ABATED ANCHOR AND ATTACHMENT POINTS ALONG THE CURTAINWALL UP TO THE 9TH FLOOR.”
- 20. Revised Drawing:
 - a. Drawing No. H-103, noted “REVISED DRAWING 10/23/24” accompanies this Addendum and supersedes the same numbered originally issued drawings.

CONSTRUCTION WORK DRAWINGS

- 3. Drawing No. A-130:
 - a. Table 1 Mark CH-4: Change the word “Marina 5L35” to “Texel - Haze TM26”
- 4. Revised Drawings
 - a. Drawing Nos. A-401 & A-502, noted “REVISED DRAWING 10/23/24” accompanies this Addendum and supersedes the same numbered originally issued drawings.

HVAC WORK DRAWINGS

- 5. Drawing No. M-001: GENERAL HAZARDOUS MATERIALS NOTES
 - a. Add Note 4 to read:
 - “4. The concrete and metal floor/ceiling slabs from the basement level up to and including the 9th floor slab are considered contaminated with asbestos. The previously abated 9th floor ceiling/roof deck and penthouse level floors and ceilings are considered non-asbestos.”

PLUMBING WORK DRAWINGS

- 9. Drawing No. P-001: GENERAL HAZARDOUS MATERIALS NOTES
 - a. Add Note 3 to read:
 - “3. The concrete and metal floor/ceiling slabs from the basement level up to and including the 9th floor slab are considered contaminated with asbestos. The previously abated 9th floor ceiling/roof deck and penthouse level floors and ceilings are considered non-asbestos.”

ELECTRICAL WORK DRAWINGS

10. Drawing No. E-001: GENERAL ASBESTOS ABATEMENT NOTES
 - a. Add Note 5 to read:

“5. The concrete and metal floor/ceiling slabs from the basement level up to and including the 9th floor slab are considered contaminated with asbestos. The previously abated 9th floor ceiling/roof deck and penthouse level floors and ceilings are considered non-asbestos.”

11. Drawing No. ED-104: CODED REMOVAL NOTES
 - a. Add Note 6 to read:

“6. EXISTING 208/120V 225A MCB PANEL PH-HV-1A.”

 - b. On the plan add to leader CODED REMOVAL NOTE 6 to panel “PH-HV-1A” next to CODED REMOVAL NOTE 5.

12. Drawing No. ED-601:
 - a. Delete Circuit Breaker under SUBSTATION 2 1600AF/400AT labeled by Coded Note 7.

13. Drawing No. E-608: CABLE SCHEDULE
 - a. Revise note 1 to read:

“1. CAT 6A CABLE PROVIDED BY EC”

14. Drawing No. E-111: CODED NOTE
 - a. Revise note 1 to read:

“1. PROVIDE 100A, 1-PHASE, 3W MAIN CIRCUIT BREAKER PANEL WITH 40A MAIN CIRCUIT BREAKER ON WOOD FRAMED SKID WITH (6) DUPLEX RECEPTACLES. EACH DUPLEX RECEPTACLE ON DEDICATED 20A/1P CIRCUIT. TEMPORARY PANEL TO BE FED FROM EXISTING 120/208 POWER PANEL ON FLOOR. ONCE ENOUGH PERMANENT POWER IS PROVIDED ON FLOOR, PANEL FEEDING TEMPORARY PANEL CAN BE REPLACED.”

15. Drawing No. E-300: CODED NOTE
 - a. Revise note 9 as follow: Change the word “E-301A’ to “E-301”

 - b. On plan, move CODED NOTE 9. plan west of FIRE PUMP RM B000 to inside of room FIRE PUMP RM B000.

16. Drawing No. E-605:
 - a. On Panel Schedule 8-9-A-2 add 2 pole 40A Breaker Labeled “TEMP POWER PANEL” to circuit No.’s 20 & 22.

 - b. On Panel Schedule 8-9-A-2 add 2 pole 40A Breaker Labeled “TEMP POWER PANEL” to circuit No.’s 24 & 26.

 - c. On Panel Schedule 8-9-A-2 add 2 pole 40A Breaker Labeled “TEMP POWER PANEL” to circuit No.’s 28 & 30.

- d. On Panel Schedule 8-9-A-2 add 2 pole 40A Breaker Labeled “TEMP POWER PANEL” to circuit No.’s 32 & 34.

- 17. Revised Drawings:
 - a. Drawing Nos. E-108M, E-301A, E-603 & E-702 noted “REVISED DRAWING 10/23/24” accompany this Addendum and supersedes the same numbered originally issued drawings.

END OF ADDENDUM

Brady Sherlock, P.E.
Director, Division of Design
Design & Construction

SECTION 011000

SUMMARY OF THE WORK

PART 1 GENERAL

1.01 WORK COVERED BY CONTRACT DOCUMENTS

- A. The title and location of the Work is printed on the cover of this Project Manual.
- B. Type of Contract: Fixed price.

1.02 RELATED CONTRACTS

- A. The Project consists of the following separate contracts:

Hazardous Materials Work	Project No. 45382-B
Construction Work	Project No. 45382-C
HVAC Work	Project No. 45382-H
Plumbing Work	Project No. 45382-P
Electrical Work	Project No. 45382-E
- B. The suffix letter at the end of the project number distinguishes the separate Contracts. The Sections in Division 01 of the Specifications which have more than one suffix letter (such as this Section) are common to each related Contract.

1.03 CONCURRENT PROJECTS

- A. The following projects will be taking place concurrently with the work of this project:

Construction Work	Project No. 47390-C (Retaining Wall)
Construction Work	Project No. 47421-C, H, P, E
- B. Coordinate the work of this project, thru the Director's Representative, to avoid conflicts with concurrent contracts.

1.04 SUBSTANTIAL AND PHYSICAL COMPLETION DATES

- A. Substantially complete the Work within 1,148 days after the Agreement is approved by the Comptroller.
 - 1. The time allocated for the performance of work under this contract includes 10 days for notification of the Contractor of the Comptroller's approval of the Agreement.
 - 2. The approval of the Agreement by the Comptroller constitutes the filing of the Contract Documents as a public record and notice to the Contractor that a fully executed contract exists between the Contractor and the State.
- B. Physically complete the Work within 90 days after the established Substantial Completion date.

1.05 SEQUENCING AND WORK RESTRICTIONS

- A. Sequencing shown in Paragraphs below is required to progress the Work. The following work requires specific sequencing:
1. Prior to any Contract B abatement work, at a minimum, the following work must be completed by Contract B:
 2. Erection of Temporary Exterior Hoist (used by Contract B) to be completed and operational within 16 weeks of Contract Award. Location of crane to be coordinated with Director's Representative. The 7th floor abatement work shall commence immediately following the erection of the B Contract Temporary Exterior Hoist. Prior to any Contract C, H, E & P work, at a minimum, the following work must be completed by Contract C:
 - a. Erection of Temporary Exterior Hoist (used by Contracts C, H, E & P) to be completed and operational within 16 weeks of Contract Award. Location of crane to be coordinated with Director's Representative.
 3. Prior to abatement/removal of the existing curtain wall system, at a minimum, the following work must be complete:
 - a. Completion of the full gut and abatement of the 7th Floor (B-contract).
 - b. Temporary heating shall be provided by H-contract.
 - c. Existing perimeter heating system shall be removed.
 - d. Perimeter steel stiffener beams shall be installed.
 - 1) At the 7th floor provide cold formed framing per 10/S-500.
 - e. provide temporary perimeter weather protection on floors 7th, 8th and 9th as per drawing HC-105
 4. The existing curtain wall system has asbestos and PCB-containing caulks and sealants present. The curtain wall abatement and removals shall be performed in three-floor vertical sections/bays, one at a time. The individual sections will be from column line to column line as shown on HC-106. Work on directly adjacent bays shall not progress until full removal and passing visual clearance is achieved on a single bay. Put-back work shall not begin until removals have progressed one full bay past the starting point. (abatement and new curtainwall install will be per the C-contract.)
 5. The curtainwall systems on the 7th, 8th, and 9th floors must be abated and removed prior to the removal of the existing concrete draftstop panels.
 6. Prior to any Contract C, H, E & P work on or access to Floor 7, the full gut and abatement by the B-Contract must be complete.
 7. Restroom plumbing risers shall be installed from top of building down. Below the 7th Floor, no more than two floors of restrooms shall be taken offline per phase. Restroom closures require advance notification of at least two full weeks and will include partial abatement of the asbestos-containing ceilings and floors.
 8. Stairway fire riser work on any floor level requires closure of that full stair tower (all floors). No more than one stair tower may be taken offline

at any given time. Stair closures require advance written notification of at least two full weeks.

- a. Curtainwall shall be fully installed, tested, and accepted prior to perimeter heating system installation.
- b. All Finishes to be installed after new curtain wall is installed.

B. Work Restrictions:

1. The following work has work restrictions and are required to be followed to complete the work. All Contracts shall Perform the Work of this Contract with the following restrictions.
2. HVAC Work (Contract H):
 - a. Location of crane to hoist mechanical equipment to and from roof to be coordinated with Director's Representative.
 1. Crane lifts setup outside of contractor laydown area to the roof or penthouse as shown on C-100 must occur during weekend hours. Provide 48 hours advance notice of all crane lifts to the Directors Representative. Equipment being lifted shall not be overhead of pedestrian walkways or building entrances during weekday hours.
 - b. Supplemental steel roof framing shall be installed prior to installation of rooftop equipment.
 - c. Installation of perimeter Roof Top Units and connection to existing perimeter induction system duct risers must be complete and operational prior to removal of Penthouse Air Handling Units serving perimeter induction system.
 - d. Removal and installation of Penthouse Air Handler Units, Return Fans and associated ductwork. Penthouse Air Handling Units, Return Fans and associated ductwork shall be removed and installed one system at a time while operation of remaining existing units continues to serve occupied floors.
 - e. Removal and installation of heating equipment and associated piping in the basement shall commence at the beginning of the first cooling season following award of contract (after May 15th), and shall be tested & operational by the beginning of the of next heating season (October 15th).
 - f. Removal and installation of heating riser piping from the basement shall commence at the beginning of the first cooling season following award of contract (after May 15th), and shall be tested & operational by the beginning of the of next heating season (October 15th).
 - g. Installation of 7th floor temporary heating ductwork and pipe taps shall commence at the completion of 7th floor abatement (Contract B).
 - h. The h-contract shall maintain the 7th floor temporary heat during construction after the completion of the 7th floor abatement per the requirements of SPECIFICATION 015123
 - i. Removal and installation of cooling equipment and associated piping in the basement shall commence at the beginning of the

- first heating season following the award of contract (after October 15th), and shall be tested & operational by the beginning of the next cooling season (May 15th).
- j. Removal and installation of chilled water riser piping from the basement up to the penthouse shall commence at the beginning of the first heating season following the award of contract (after October 15th), and shall be tested & operational by the beginning of the next cooling season (May 15th).
 - k. Installation of HVAC ductwork, piping, and controls on the 7th floor shall commence following the completion of 7th floor abatement (Contract B).
 - l. Materials required to be brought to or removed from occupied Floors (G thru 6) shall be performed afterhours on weekdays (6:00 PM to 6:00 AM) and/or during the weekends. Coordinate with Director's Representative 48 hours in advance for use of the building's freight elevator.
 - m. Work in duct and pipe shafts on occupied floors can be performed during regular work hours as long it can be demonstrated with a work plan that the work does not negatively affect the daily operation/safety of the building's occupants. Coordinate work in these areas with the Director's Representative 48 hours in advance of the start of work.
3. Plumbing Work (Contract P):
- a. Removal and installation of fire suppression building risers at Stair 1, 2 & 3 (sequenced work involving all floors in Building 8).
 - b. Restroom plumbing risers shall be installed from top of building down. Below the 7th Floor, no more than two floors of restrooms shall be taken offline per phase. Restroom closures require advance notification of at least two weeks and will include partial abatement of the asbestos-containing ceilings and floors. Non abatement work occurring in this area on occupied floors can be performed during regular work hours as long it can be demonstrated with a work plan that the work does not negatively affect the daily operation/safety of the building's occupants. Coordinate work in these areas with the Director's Representative two weeks in advance of the start of work.
 - c. Stairway fire riser work on any floor level requires closure of that full stair tower (all floors). No more than one stair tower may be offline at any given time. Stair closures require advance written notification of at least two weeks. Work occurring in this area on occupied floors can be performed during regular work hours as long it can be demonstrated with a work plan that the work does not negatively affect the daily operation/safety of the building's occupants. Coordinate work in these areas with the Director's Representative two weeks in advance of the start of work.

- d. Materials required to be brought to or removed from occupied Floors (G thru 6) shall be performed afterhours on weekdays (6:00 PM to 6:00 AM) and/or during the weekends. Coordinate with Director's Representative 48 hours in advance for use of the building's freight elevator.
- 4. Electrical Work (Contract E):
 - a. Installation of temporary power and lighting for Floors Basement, 7, 8, 9 and Penthouse. Include temporary lighting within Stairwells.
 - b. Replacement of power feeder conductors for Motor Control Center #1 in basement and MCC's 2 & 3 in Penthouse.
 - c. Refurbishing of all effected buckets in Motor Control Centers with new breakers associated with mechanical equipment.
 - d. Materials required to be brought to or removed from occupied Floors (G thru 6) shall be performed afterhours on weekdays (6:00 PM to 6:00 AM) and/or during the weekends. Coordinate with Director's Representative 48 hours in advance for use of the building's freight elevator.
- 5. Hazardous Materials Work (Contract B):
 - a. Abatement of Dumbwaiter Shaft (sequenced work needs to be coordinated with all contracts involving all floors in Building 8).
 - b. Abatement and removal of select ceiling areas and plumbing risers (sequenced work needs to be coordinated with all contracts involving Floors basement through 6th floor).
 - c. Abatement and removal of wall sections within each stairwell from the basement through the 9th floor to facilitate new fire standpipe installations. Work shall be performed Monday through Friday from 6:00 pm to 6:00 am and on weekends so as not to disrupt the building occupants and daily operations. (Sequenced work needs to be coordinated with all contracts involving all floors in Building 8 to maintain code compliant egress). Stairwell work will be completed one stairwell at a time."
 - d. Abatement and floor slab removals within each bathroom from the ground floor through the 9th floor to facilitate plumbing installations. Work shall be performed Monday through Friday from 6:00 pm to 6:00 am and on weekends so as not to disrupt the building occupants and daily operations. (Sequenced work needs to be coordinated with all contracts involving all floors in Building 8 to maintain code compliant egress). Bathroom work will be completed two floors at a time."

1.06 CONTRACT AWARD SUBMITTALS

- A. Submittal No. 1: Submit the CONTRACTOR'S LIST OF SUBCONTRACTORS-SUPPLIERS information required in SCHEDULES AND RECORDS Article in Specification Section 013000 not later than 15 days after approval of the Contract by the Comptroller.

- B. Submittal No. 2: Submit Preliminary Project Schedule related information noted in 013113 Project Planning and Scheduling or 013200 Construction Progress Documentation, whichever section is applicable, within 15 days after approval of the Contract by the Comptroller for review by the Director's Representative and OGS Scheduling.
- C. Submittal No. 3: Submit the Submittal Coordinator Qualifications not later than 10 days after Award. Include resume and references, and other certification, licenses, or other requested information.
- D. Submittal No. 4 (Construction and Hazardous Abatement Work Contracts Only): Submit Exterior Temporary Exterior Hoist for approval per Specification Section 015301 respectively not later than 14 days after approval of the Contract by the Comptroller.
- E. Submittal No. 5 (Construction Work Contract): Submit Window Wall Systems for approval per Specification Sections 084413 not later than 21 days after approval of the Contract by the Comptroller.
- F. Submittal No. 6 (Hazardous Material Work Contract): Submit Asbestos Abatement Plan for approval per Specification Section 028213 not later than 14 days after approval of the Contract by the Comptroller.
- G. Submittal No. 7 (HVAC Work Contract): Submit Rooftop Units for approval per Specification Section 237313 not later than 21 days after approval of the Contract by the Comptroller.
- H. Submittal No. 8 (Electrical Work Contract): Submit motor control centers for approval per Specification Section 262419 not later than 21 days after approval of the Contract by the Comptroller.
- I. Submittal No. 9 (HVAC Work Contract): Submit chilled water pumps BP-1 and BP-2 for approval per Specification 232123 not later than 21 days after approval of the Contract by the Comptroller.
- J. Submittal No. 10 (HVAC Work Contract): Submit properly coordinated ductwork shop drawings for approval per Specification 233113 not later than 75 days after approval of the Contract by the Comptroller.

1.07 RESTRICTED WORK PERIOD

- A. Construction Work Contract: Do not perform the curtainwall abatement and removal work, and curtainwall installation Work on or after December 1st and up to, but not including April 1st unless approved otherwise, in writing, by the Director. clear the site of materials, equipment, and debris. Maintain the curtainwall building envelope in a watertight condition.
- B. Construction Work Contract: Do not perform the roofing and related Work on or after December 1st and up to, but not including April 1st unless approved otherwise, in writing, by the Director. During this period, clear the roof of materials, equipment, and debris. Maintain the roof in a watertight condition.

- C. Construction Work Contract: Do not perform the waterproofing and related Work on or after December 1st and up to, but not including April 1st unless approved otherwise, in writing, by the Director. During this period, clear the work area of materials, equipment, and debris.
- D. HVAC Work Contract: Do not perform Work requiring shut off of active heating piping and equipment on or after October 15th and up to, but not including May 1st unless approved otherwise, in writing, by the Director.
- E. Asbestos-containing materials will be abated by the Hazardous Material Work and Electrical Contractors . Do not perform other Work in the area of such activity during the abatement of asbestos-containing materials.

1.08 ITEMS NOT INCLUDED

- A. The following items shown on the Drawings are not included in the Contract:
 - 1. Items indicated “NIC” (Not in Contract).
 - 2. Existing construction, except where such construction is to be removed, replaced, or altered.

1.09 CONFINED SPACE

- A. Comply with confined space and permit-required confined space as defined in Title 29, Part 1910, Section 146 of the Code of Federal Regulations (29CFR 1910.146).
- B. Comply with Safety Requirements for Confined Spaces (ANSI/ASSE Z117.1-2009).
- C. All spaces shall be treated as permit-required confined spaces until the Contractor and/or subcontractors are able to re-classify the space to a non-permit confined space as per 29CFR 1910.146 and ANSI/ASSE Z117.1-2009.
- D. Indicated confined spaces are not intended to limit or define Contractor’s or subcontractors’ regulatory compliance requirements. In addition to confined spaces indicated on the drawings, other confined spaces may be present or created by the work of this contract. Notify the Director’s Representative, in writing, of confined spaces created or eliminated during execution of the Work.
- E. For the purpose of inspecting ongoing work, furnish at no additional cost to the State, personnel, as directed, to allow the Director’s Representative to enter confined space and permit-required confined space in compliance with Title 29, Part 1910, Section 146 of the Code of Federal Regulations (29CFR 1910.146).

1.10 OCCUPANCY

- A. This is an occupied Facility. The building will be occupied and operational during execution of the Work. Ingress to and egress from the building shall be maintained at all times.

1.11 CONNECTION TO ELECTRICAL EQUIPMENT OR SYSTEMS

- A. Contractor will not be allowed to tie into electrical equipment or systems until the Division of Utilities Management has reviewed and approved the connection.
 - 1. Submit written procedures thru the Director's Representative to the Division of Utilities Management, detailing how the connection Work is proposed to be performed.
 - 2. After procedures have been approved, notify the Director's Representative at least 3 working days prior to the connection Work so that arrangements can be made to have a Division of Utilities Management Representative witness the Work.

1.12 CONTRACTOR USE OF PREMISES

- A. Work hours shall be as established by the Facility authorities thru the Director's Representative.
- B. Inform the Director's Representative of work area access requirements. The Director's Representative will coordinate and schedule the requirements with Facility staff to obtain and ensure timely availability of work areas.
- C. Check in with the Facility Representative, as directed, at the beginning of each workday. Furnish information regarding where employees will be working during the day.
- D. Comply with the Facility's Visitor Identification Policy. A copy of the current policy will be distributed at the initial job meeting.
- E. The following items are not allowed on the Site or on Facility premises.
 - 1. Firearms, ammunition, weapons, and dangerous instruments (other than tools required for the Work).
 - 2. Alcoholic beverages and persons under the influence of same.
 - 3. Cannabis and persons under the influence of same. Cannabis, as used herein shall refer to any form of cannabis that has psychoactive properties.
 - 4. Illegal controlled substances and persons under the influence of same.
 - 5. Cameras (except with written permission from the Director's Representative).
- F. Comply with Facility policies relating to smoking at the Site.
- G. Routes of ingress and egress within the building to the location of the Work shall be as directed by the Director's Representative.
- H. Store materials and perform the Work so that pedestrian and vehicular traffic is not obstructed.
- I. Do not diminish the level of life safety during performance of the Work.
- J. Furniture and portable equipment which interferes with execution of the Work will be removed and reset by Facility personnel.

- K. Utility Outages and Shutdowns: Do not interrupt utility services or branch services within the building except for the time required to make new connections. Arrange with the Director's Representative for the time and duration of interruptions of services. Provide temporary services required to maintain building services at all times other than during scheduled interruptions.
 - 1. All Contracts (B-Contract, C-Contract, H-Contract, P-Contract and E-Contract) Work Contract: During the asbestos abatement portion of the Project, comply with the requirements specified in Section 028213.

- L. Use of Existing Elevators:
 - 1. Elevators for transportation of workers and materials will be designated by the Director's Representative. Arrange the time and duration of such use with the Director's Representative. Do not exceed capacity of elevators. Provide padding or other protection for the car.
 - 2. During Periods of Exclusive Use:
 - a. Operate elevators. Prevent unauthorized persons from using elevators.
 - b. Where an existing elevator service contract exists, make arrangements thru the Director's Representative for repairs required due to misuse or negligence. Pay elevator service company's fees for repairs.
 - c. Where an existing elevator service contract does not exist, have repairs required due to misuse or negligence made by a qualified elevator company.

- M. Do not use existing elevators for the Work.

- N. Be responsible and accountable for employees, suppliers, subcontractors and their employees, with regard to their use of the premises. Direct them to comply with the Facility Regulations and with the security and traffic regulations.

- O. Furnish Facility authorities with a telephone number or method to contact the supervisor for the Work in case of an emergency after work hours, including weekends and holidays.

- P. Comply with applicable federal and State of New York Right-to-Know Law provisions. Provide Safety Data Sheets (SDS) documents for products that have SDS data prior to use on the project site.
 - 1. Upload and maintain electronic SDS documents on the Submittals Website (SDS tab).
 - 2. SDS tab is organized by prime contracts. To be readily identified, name products with SDS by specification section number and product name.
 - 3. Supply and maintain one hard copy of the appropriate SDS on the project site and one hard copy with the Facility's Right-to-Know Information Officer.

- Q. Direct employees to be watchful for people in or near the work area where safety hazards may be present. Notify the Facility Safety/Security Department, if necessary, to remove them from the work area or Site.

- R. Report fire and other emergency situations to the Facility Safety/Security Department immediately.

1.13 OPENINGS AND CHASES IN NEW CONSTRUCTION

- A. Construction Work Contract:
 - 1. Unless specifically indicated otherwise, provide openings, chases, and similar items in new construction provided under this Contract, as required for items to be provided under related contracts.
 - 2. After the installation and completion of the items for which openings and chases have been provided, build in, over, around and finish the openings and chases to complete the Work.
 - 3. Provide all cutting, patching, and refinishing resulting from failure to provide the required openings and chases, if the necessary information was furnished by the related contractor before 24 hours of start of the applicable part of the Work.
 - 4. If related contractors fail to furnish drawings or written information covering the openings and chases they require in new construction at least 24 hours before installation of the Work affected by those items, the related contractors will be required to do all cutting, patching, and refinishing of the construction so affected, at their own expense.
- B. HVAC Work, Plumbing Work, and Electrical Work Contracts:
 - 1. Unless specifically indicated otherwise, furnish drawings or written information to the Construction Work Contractor covering the openings and chases required in new construction for the Work. If such information is not furnished at least 24 hours before start of the applicable part of the Construction Work Contractor's work, all necessary cutting, patching, and refinishing will be included in the Contract at no additional cost to the State.

1.14 SPRAYED-ON FIREPROOFING FOR NEW CONSTRUCTION

- A. Construction Work Contract:
 - 1. Notify the related contractors 5 working days prior to the application of fireproofing.
 - 2. If related contractors fail to install hangers, clips, sleeves, and other items that will penetrate the fireproofing, the related contractors will be required to cut and repair the fireproofing at their own expense.
- B. HVAC Work, Plumbing Work, and Electrical Work Contracts:
 - 1. Construction Work Contractor will give 5 working days' notice prior to application of fireproofing.
 - 2. If hangers, clips, sleeves, and other items that will penetrate the fireproofing are not in place before application of the fireproofing by the Construction Work Contractor, all necessary cutting and repair of the fireproofing will be included in the Contract at no additional cost to the State.

1.15 REFERENCE SPECIFICATIONS AND STANDARDS

- A. Comply with the requirements of the various specifications and standards referred to in these Specifications, except where they conflict with the requirements of these Specifications. Such reference specifications and standards shall be the date of latest revision in effect at the time of receiving bids unless the date is given.
- B. DOT Specifications: If the abbreviation DOT appears in these Specifications, it shall mean the most current edition of the New York State Department of Transportation, Office of Engineering specifications entitled "STANDARD SPECIFICATIONS - CONSTRUCTION AND MATERIALS", including all applicable Addenda in effect at the time of receipt of bids. The DOT specifications may be purchased from the Department of Transportation, Plan and Publication Sales, 50 Wolf Road, Albany, NY 12232, (518) 457-2124.

1.16 LAYING OUT

- A. Examine the Contract Documents thoroughly and promptly report any errors or discrepancies to the Director's Representative before commencing the Work.
- B. Lay out the Work in accordance with the Contract Documents.

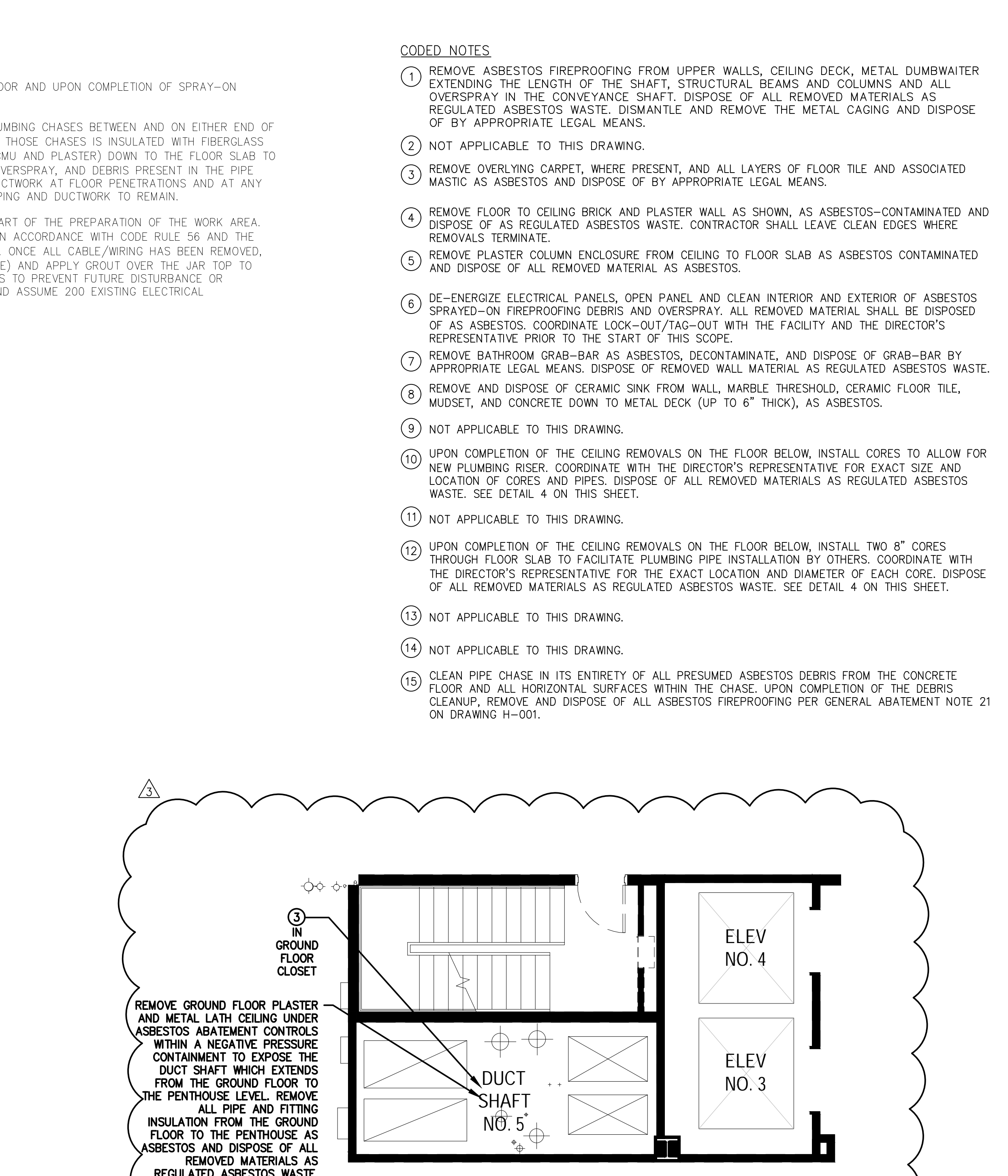
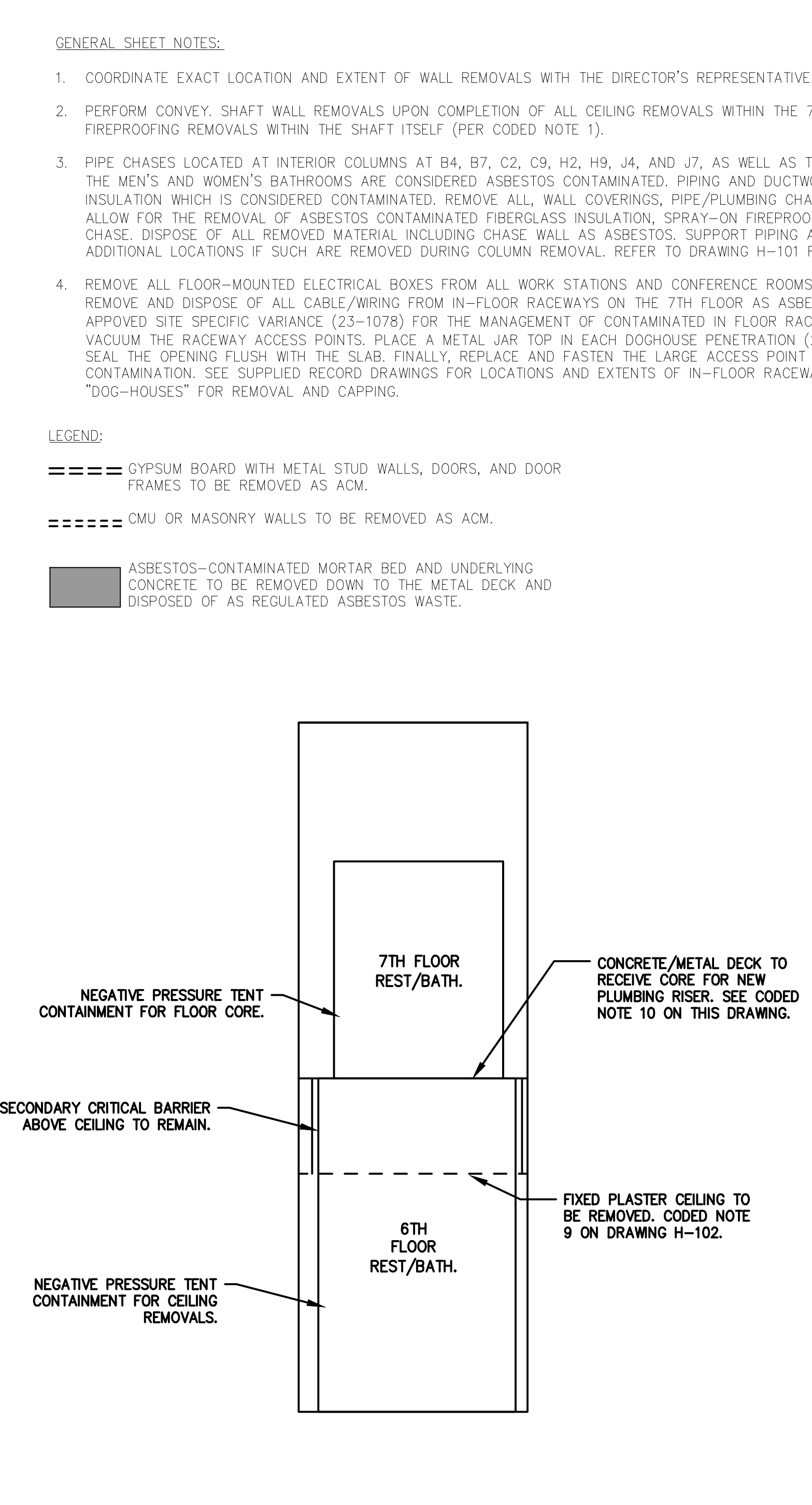
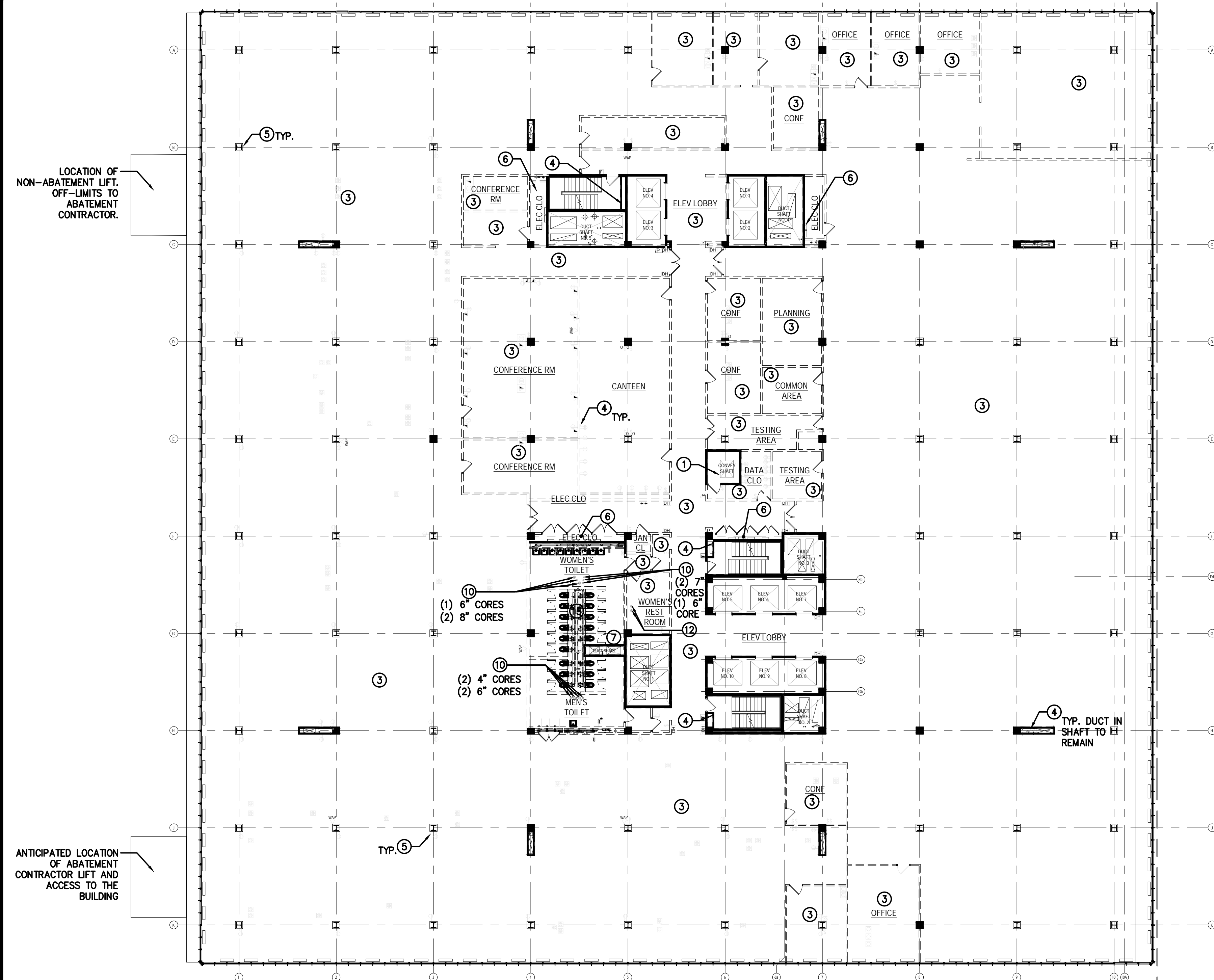
1.17 SPECIAL INSPECTIONS

- A. Special Inspections and tests are required by Chapter 17 of the Building Code of New York State (BCNYS). Inspections & Testing Services will be provided by the state unless otherwise noted.
- B. Contractors are responsible for notifying the Directors Representative regarding individual inspections listed in the **STATEMENT OF SPECIAL INSPECTIONS**. Contractors shall cooperate with the inspectors and testing agencies and sufficient notice and lead time (minimum 48 hours) must be allowed for inspection and testing to be performed.
- C. Where deficiencies are identified, the contractor must take corrective actions to comply with the contract documents or remedy the deficiencies in accordance with Article 9 of the General Conditions.

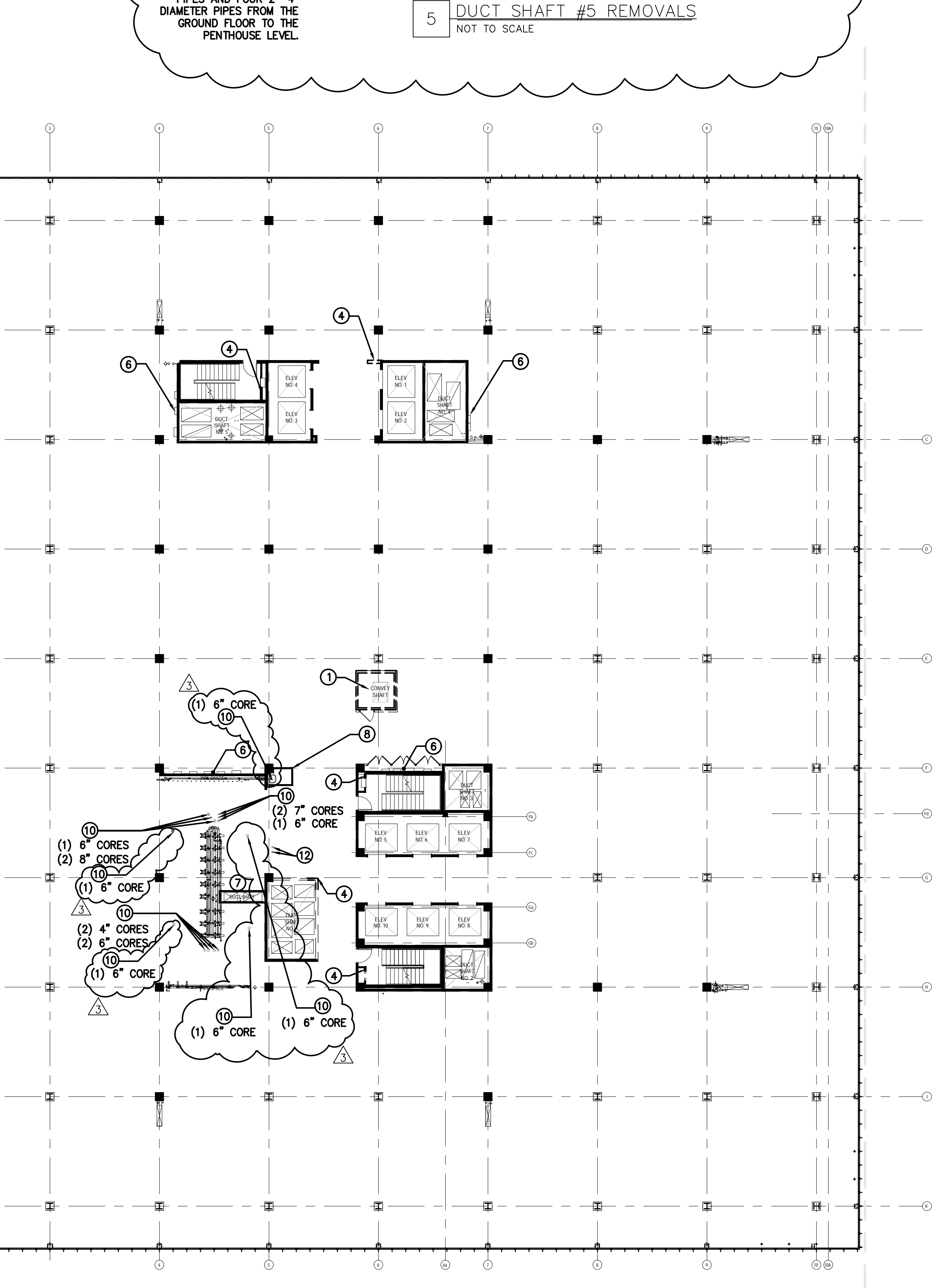
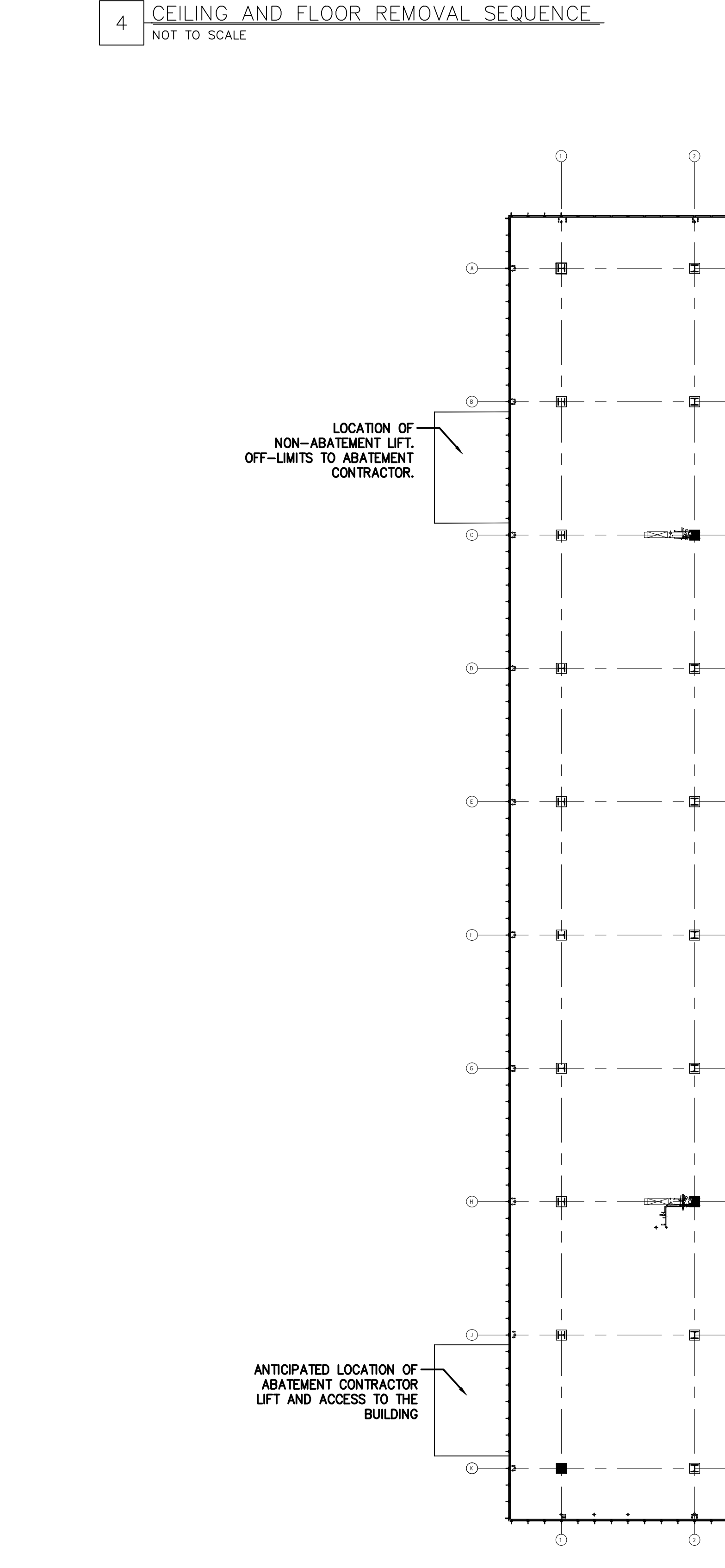
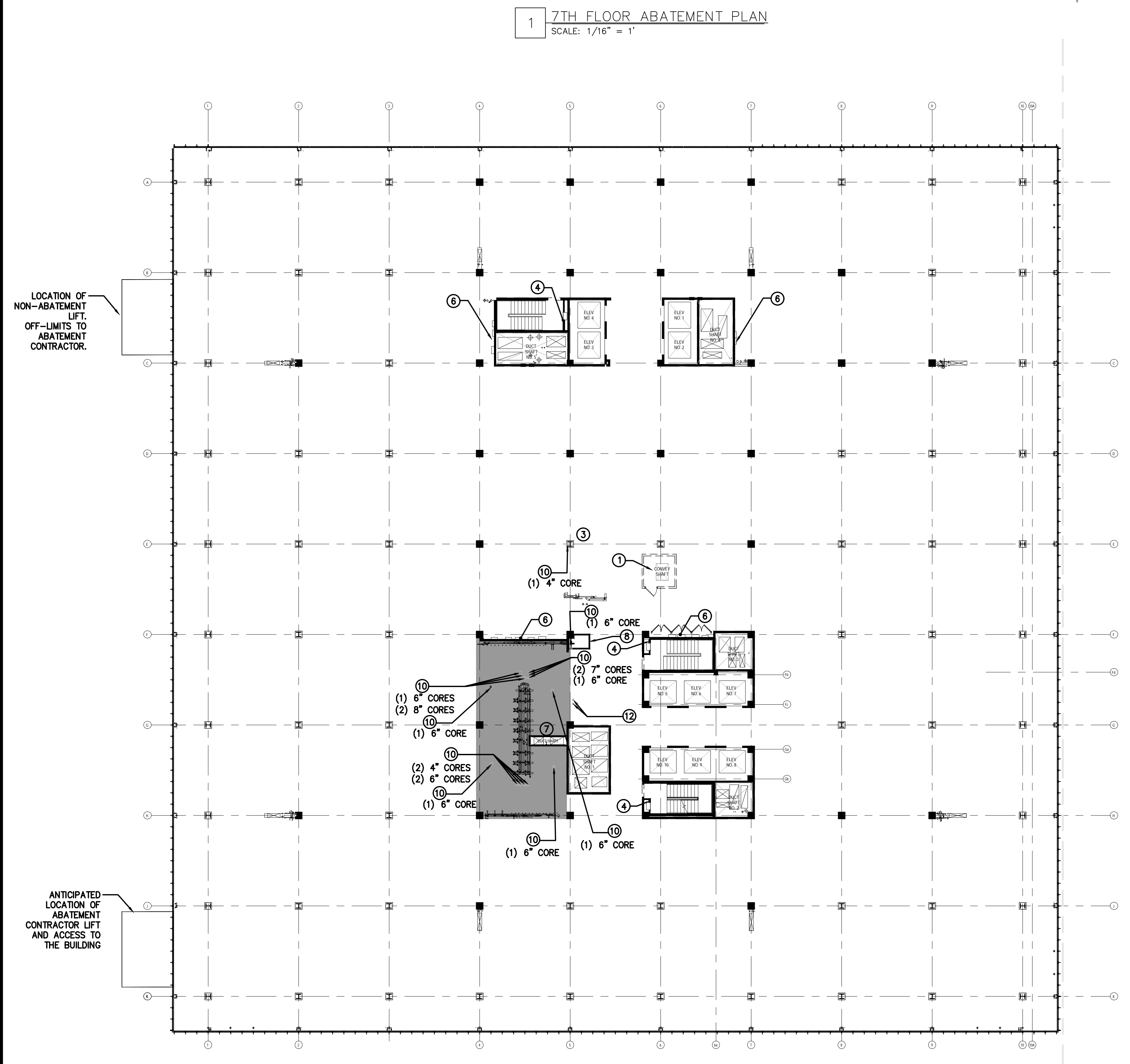
PART 2 PRODUCTS (Not Used)

PART 3 EXECUTION (Not Used)

END OF SECTION



- CODED NOTES
- REMOVE ASBESTOS FIREPROOFING FROM UPPER WALLS, CEILING DECK, METAL DUMBBWATER EXTENDING THE LENGTH OF THE SHAFT, STRUCTURAL BEAMS AND COLUMNS AND ALL OVERSPRAY IN THE CONVEYANCE SHAFT. DISMANTLE AND REMOVE THE METAL CAGING AND DISPOSE OF BY APPROPRIATE LEGAL MEANS.
 - NOT APPLICABLE TO THIS DRAWING.
 - REMOVE OVERLYING CARPET, WHERE PRESENT, AND ALL LAYERS OF FLOOR TILE AND ASSOCIATED MASTIC AS ASBESTOS AND DISPOSE OF BY APPROPRIATE LEGAL MEANS.
 - REMOVE FLOOR TO CEILING BRICK AND PLASTER WALL AS SHOWN, AS ASBESTOS-CONTAMINATED AND DISPOSE OF AS REGULATED ASBESTOS WASTE. CONTRACTOR SHALL LEAVE CLEAN EDGES WHERE REMOVALS TERMINATE.
 - REMOVE PLASTER COLUMN ENCLOSURE FROM CEILING TO FLOOR SLAB AS ASBESTOS CONTAMINATED AND DISPOSE OF ALL REMOVED MATERIAL AS ASBESTOS.
 - DE-ENERGIZE ELECTRICAL PANELS, OPEN PANEL AND CLEAN INTERIOR AND EXTERIOR OF ASBESTOS SPRAYED-ON FIREPROOFING DEBRIS AND OVERSPRAY. ALL REMOVED MATERIAL SHALL BE DISPOSED OF AS ASBESTOS. COORDINATE LOCK-OUT/TAG-OUT WITH THE FACILITY AND THE DIRECTOR'S REPRESENTATIVE PRIOR TO THE START OF THIS SCOPE.
 - REMOVE BATHROOM GRAB-BAR AS ASBESTOS, DECONTAMINATE, AND DISPOSE OF GRAB-BAR BY APPROPRIATE LEGAL MEANS. DISPOSE OF REMOVED WALL MATERIAL AS REGULATED ASBESTOS WASTE.
 - REMOVE AND DISPOSE OF CERAMIC SINK FROM WALL, MARBLE THRESHOLD, CERAMIC FLOOR TILE, MURSET, AND CONCRETE DOWN TO METAL DECK (UP TO 6" THICK), AS ASBESTOS.
 - NOT APPLICABLE TO THIS DRAWING.
 - UPON COMPLETION OF THE CEILING REMOVALS ON THE FLOOR BELOW, INSTALL CORES TO ALLOW FOR NEW PLUMBING RISER. COORDINATE WITH THE DIRECTOR'S REPRESENTATIVE FOR EXACT SIZE AND LOCATION OF CORES AND PIPES. DISPOSE OF ALL REMOVED MATERIALS AS REGULATED ASBESTOS WASTE. SEE DETAIL 4 ON THIS SHEET.
 - NOT APPLICABLE TO THIS DRAWING.
 - UPON COMPLETION OF THE CEILING REMOVALS ON THE FLOOR BELOW, INSTALL TWO 6" CORES THROUGH FLOOR SLAB TO FACILITATE PLUMBING PIPE INSTALLATION BY OTHERS. COORDINATE WITH THE DIRECTOR'S REPRESENTATIVE FOR THE EXACT LOCATION AND DIAMETER OF EACH CORE. DISPOSE OF ALL REMOVED MATERIALS AS REGULATED ASBESTOS WASTE. SEE DETAIL 4 ON THIS SHEET.
 - NOT APPLICABLE TO THIS DRAWING.
 - NOT APPLICABLE TO THIS DRAWING.
 - CLEAN PIPE CHASE IN ITS ENTIRETY OF ALL PRESUMED ASBESTOS DEBRIS FROM THE CONCRETE FLOOR AND ALL HORIZONTAL SURFACES WITHIN THE CHASE. UPON COMPLETION OF THE DEBRIS CLEANUP, REMOVE AND DISPOSE OF ALL ASBESTOS FIREPROOFING PER GENERAL ABATEMENT NOTE 21 ON DRAWING H-101.



UNIFORM CODE STATEMENT:
 TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 UNIFORM CODE.

ENERGY CODE WRITTEN STATEMENT:
 TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THE DRAWINGS BEARING MY PROFESSIONAL SEAL AND SIGNATURE MEET OR EXCEED THE 2020 NEW YORK STATE ENERGY CODE CONSISTING OF THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE, 2015 ASHRAE 90.1 AND THE 2020'S ENERGY CODE SUPPLEMENT.

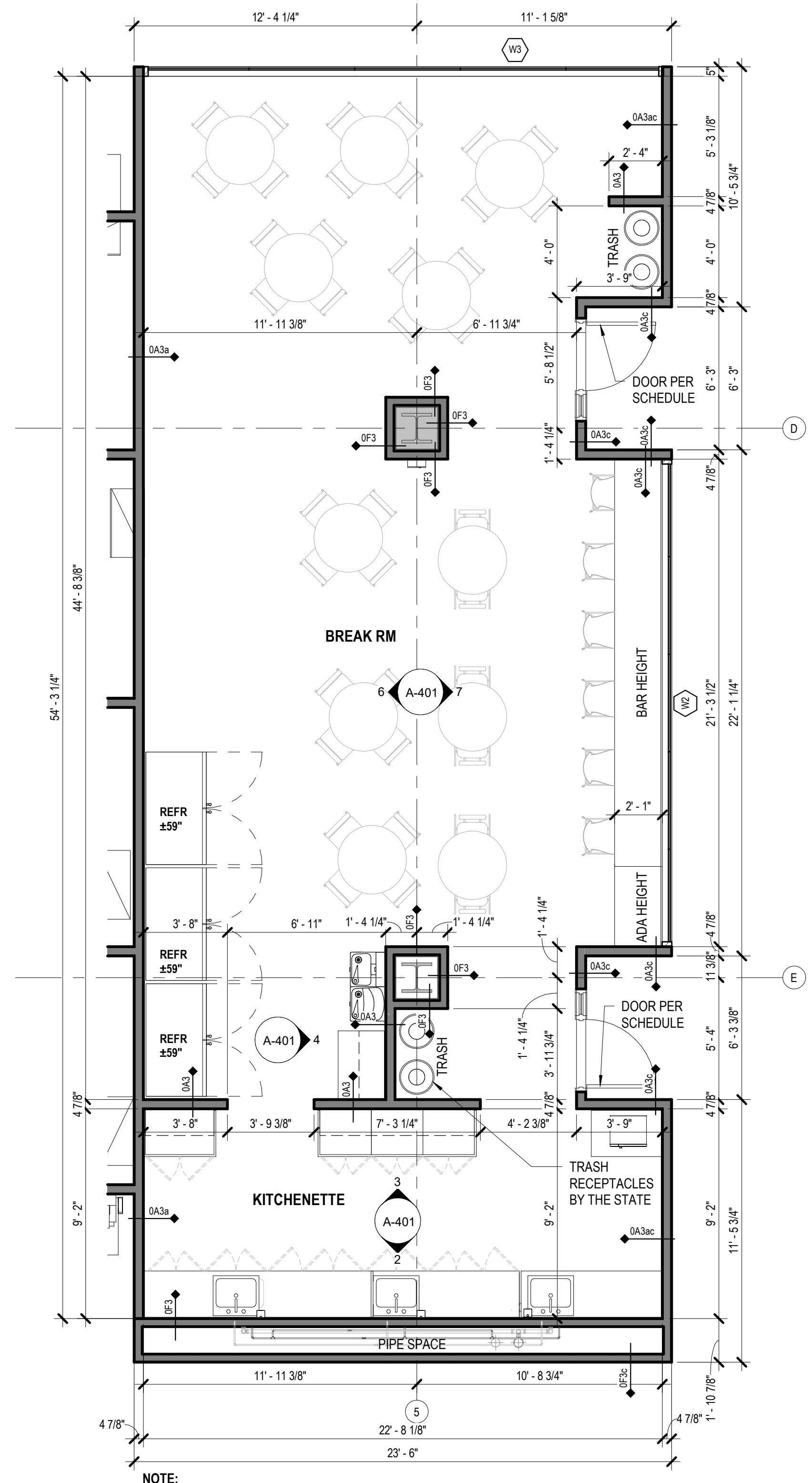
WARNING:
 THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT OR AN ARCHITECT/ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS "A" Misdemeanor.



CONTRACT: HAZARDOUS MATERIALS	
TITLE: RENOVATE BUILDING 8, 8TH & 9TH FLOORS	
LOCATION: STATE OFFICE BUILDING CAMPUS 1220 WASHINGTON AVENUE ALBANY, NY 12226	
CLIENT: NEW YORK OFFICE OF GENERAL SERVICES	

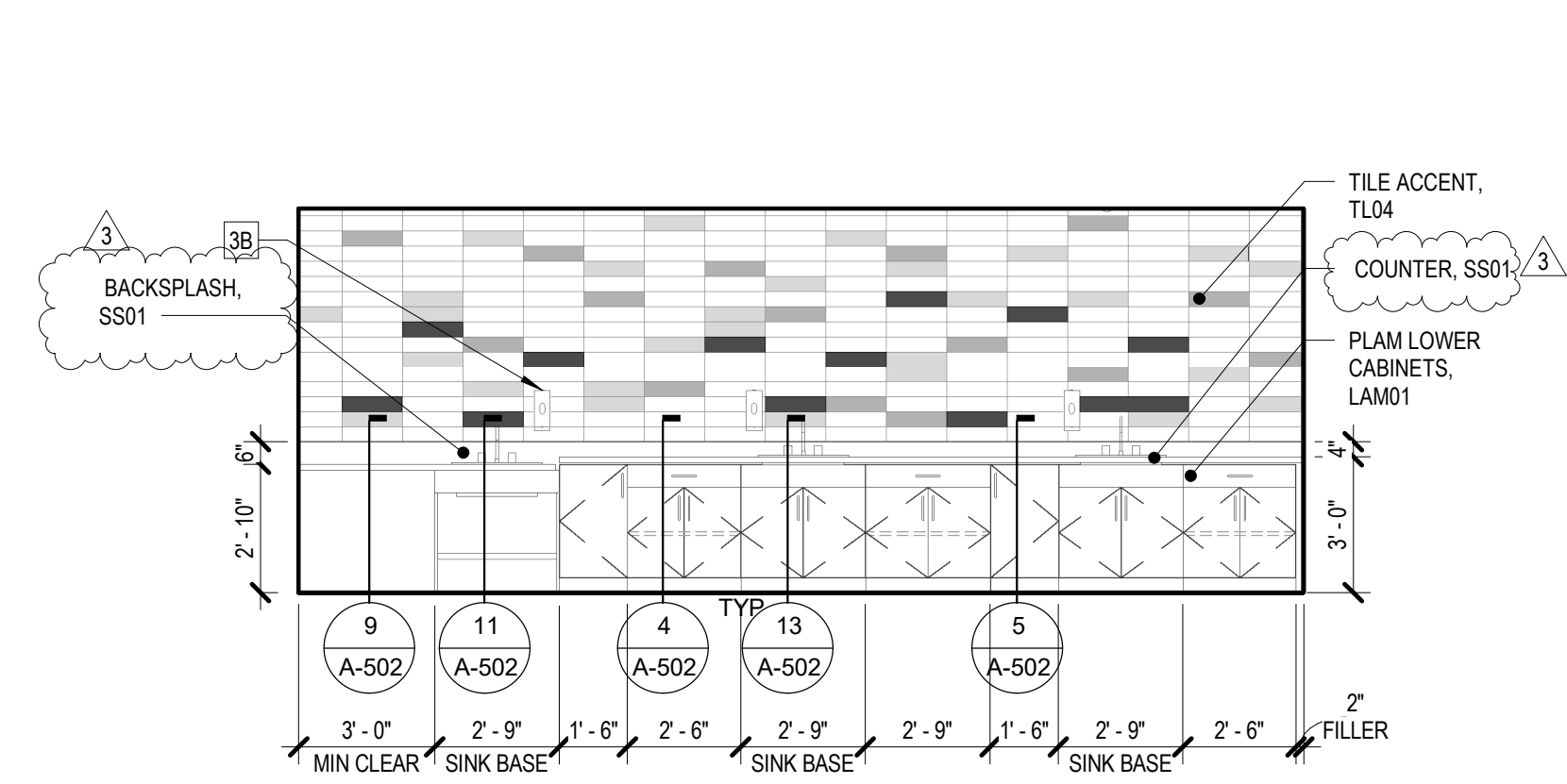
3	10/23/2024	ADDENDUM 3
A	5/8/2024	FINAL AND DOCUMENTS
MARK	DATE	DESCRIPTION
PROJECT NUMBER:	45382 - B	
DESIGNED BY:		
DRAWN BY:		
FIELD CHECK BY:		
APPROVED BY:		
SHEET TITLE:		
7TH, 8TH, AND 9TH FLOOR ABATEMENT PLAN		
DRAWING NUMBER:		
H-103		
REVISED DRAWING 10/23/2024		

File: U:\PROJECTS\NY\K\OR\842-000\JOB DESIGN\DRAWINGS\01_SHEETS\H-103-08-842.DWG, Scale: 10/21/2024, 2:58:32 PM, Printed: 10/21/2024, 2:59:41 PM, Current User: Gwy, Immojyn, LatisSoveBy, 301



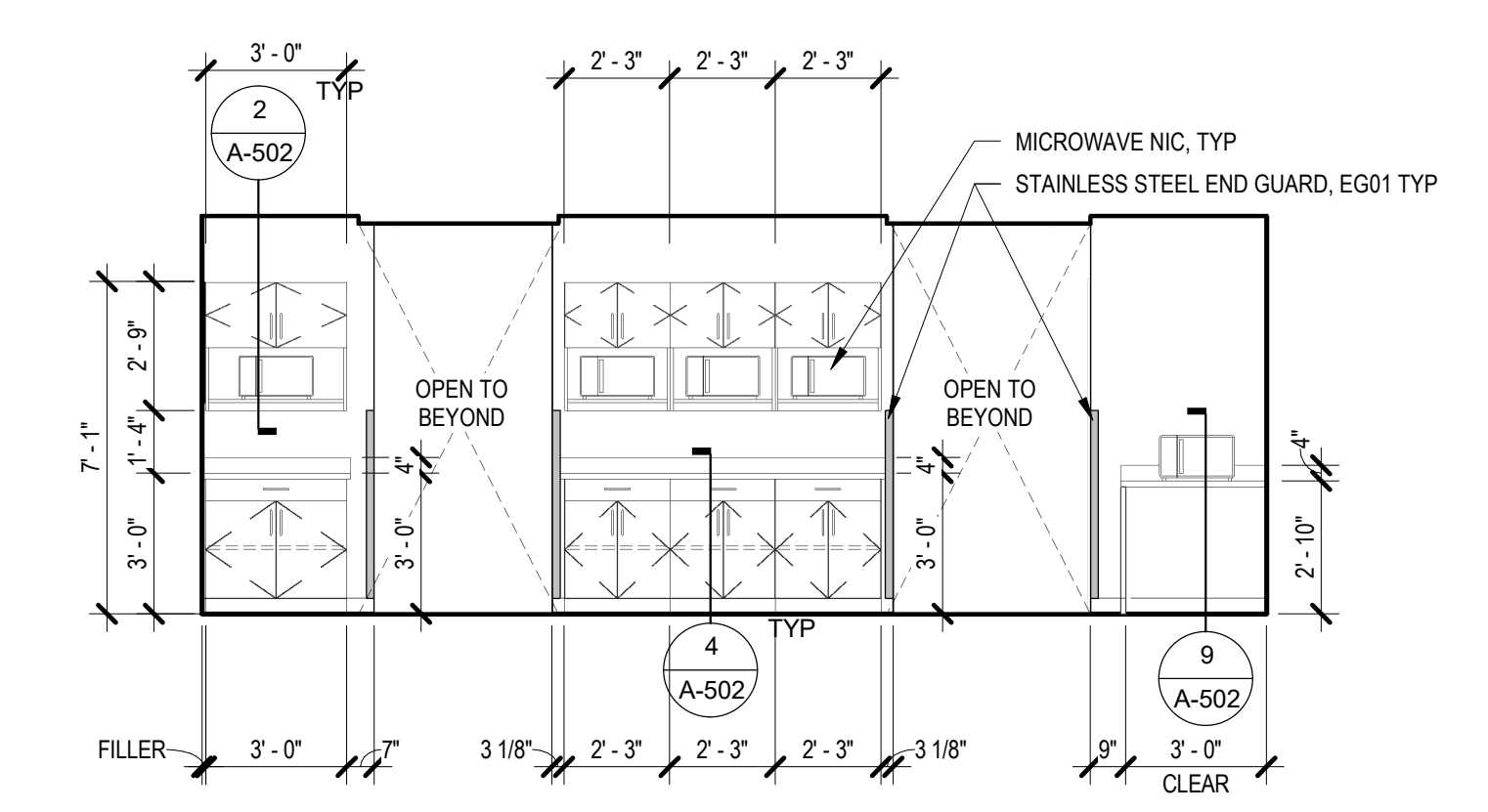
1
A-401
1/4" = 1'-0"

ENLARGED PLAN - BREAKROOM - 9TH FLOOR



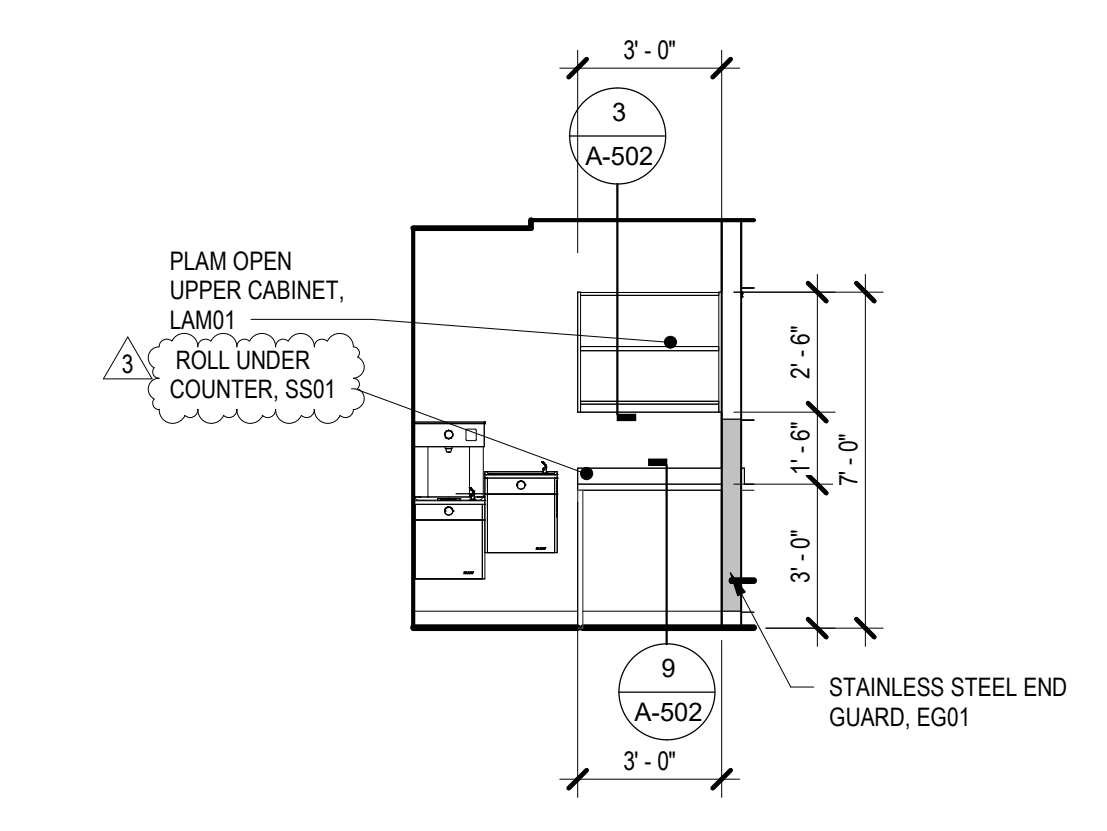
2
A-401
1/4" = 1'-0"

INT ELEV - KITCHENETTE SOUTH



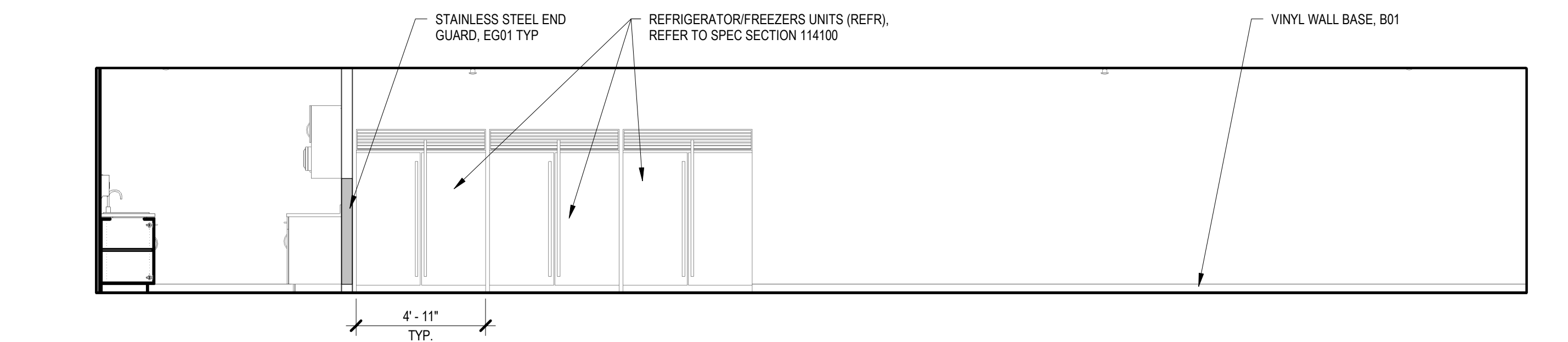
3
A-401
1/4" = 1'-0"

INT ELEV - KITCHENETTE NORTH



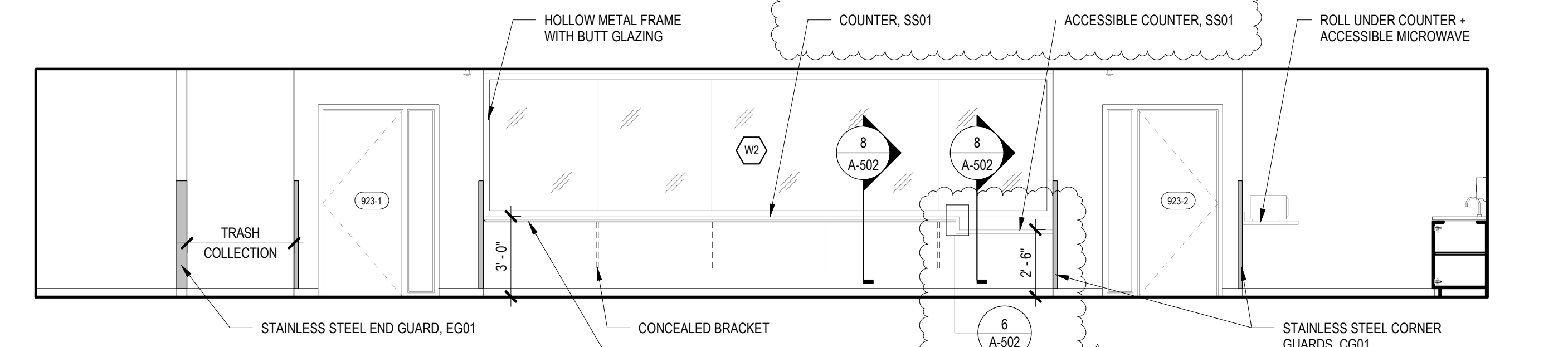
4
A-401
1/4" = 1'-0"

INT ELEV - BREAK 4



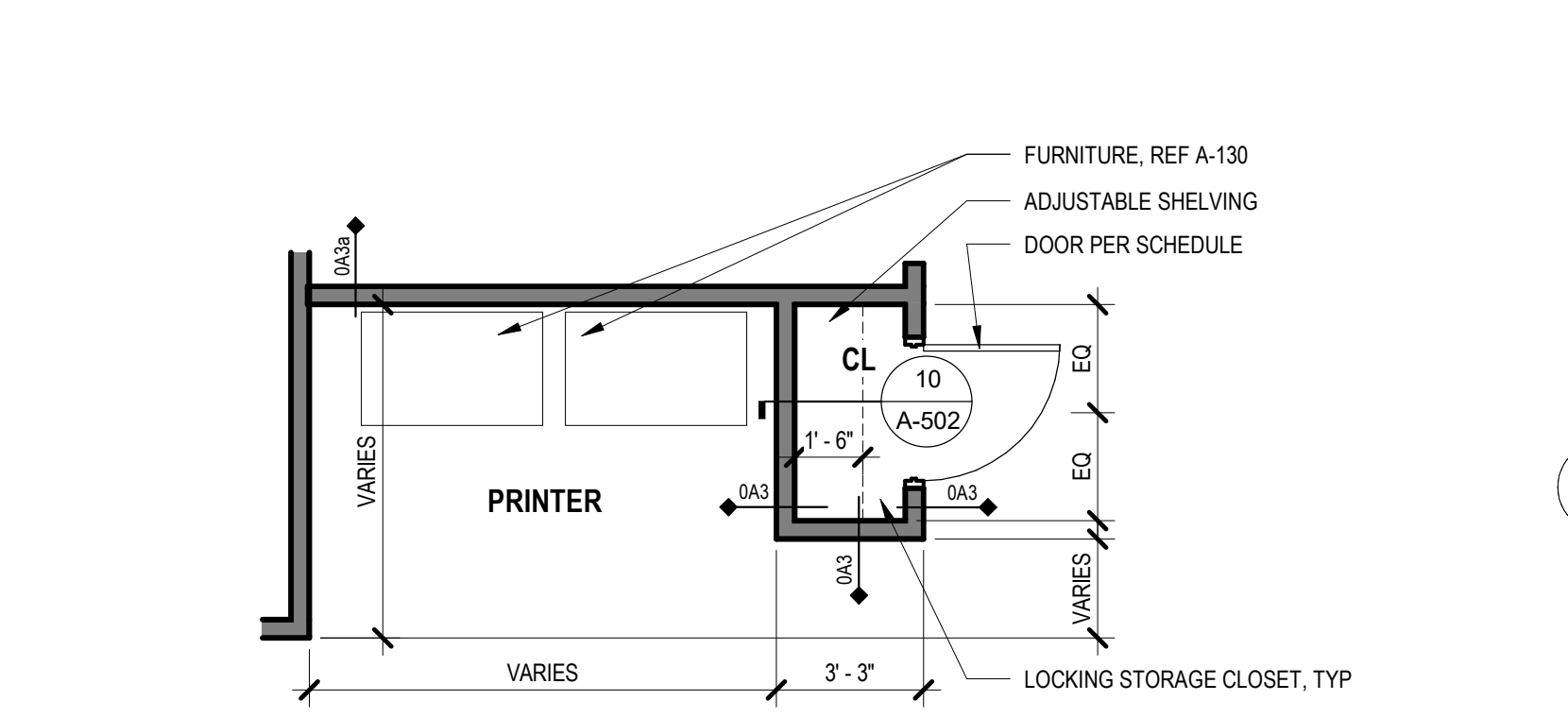
6
A-401
1/4" = 1'-0"

INT ELEV - BREAK RM WEST



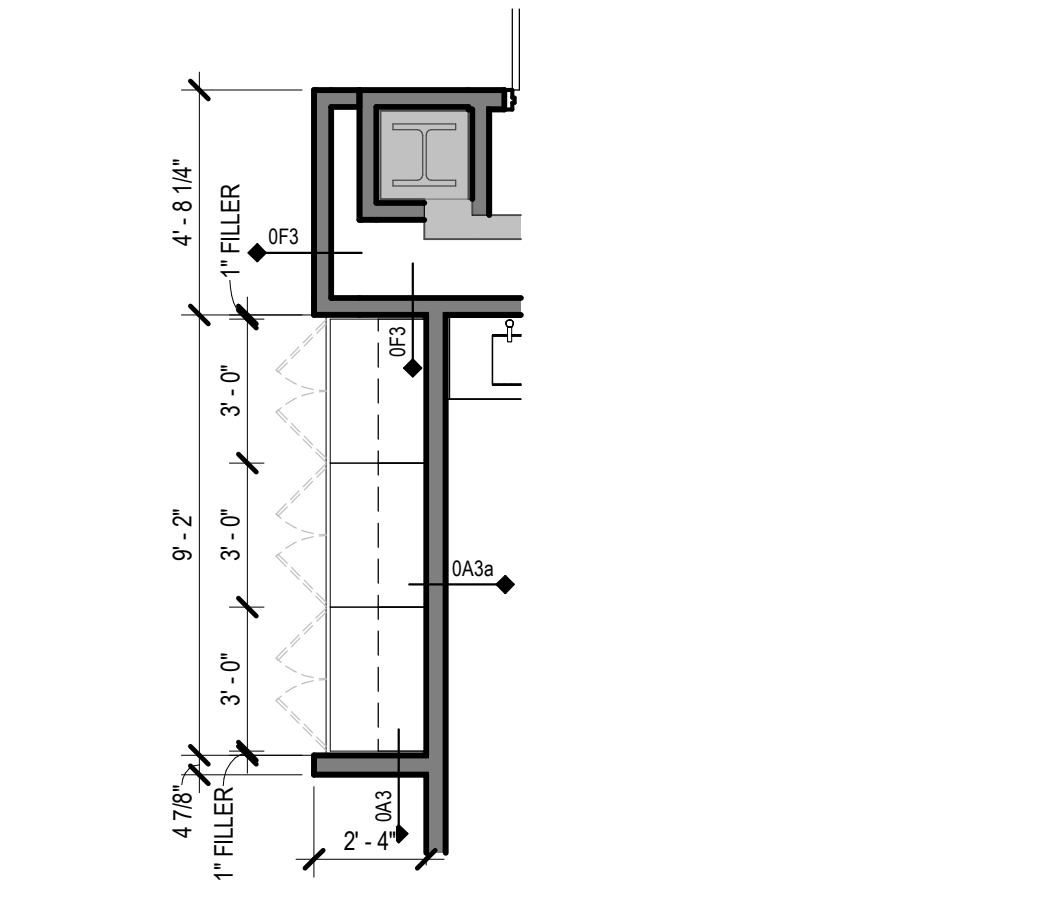
7
A-401
1/4" = 1'-0"

INT ELEV - BREAK RM EAST



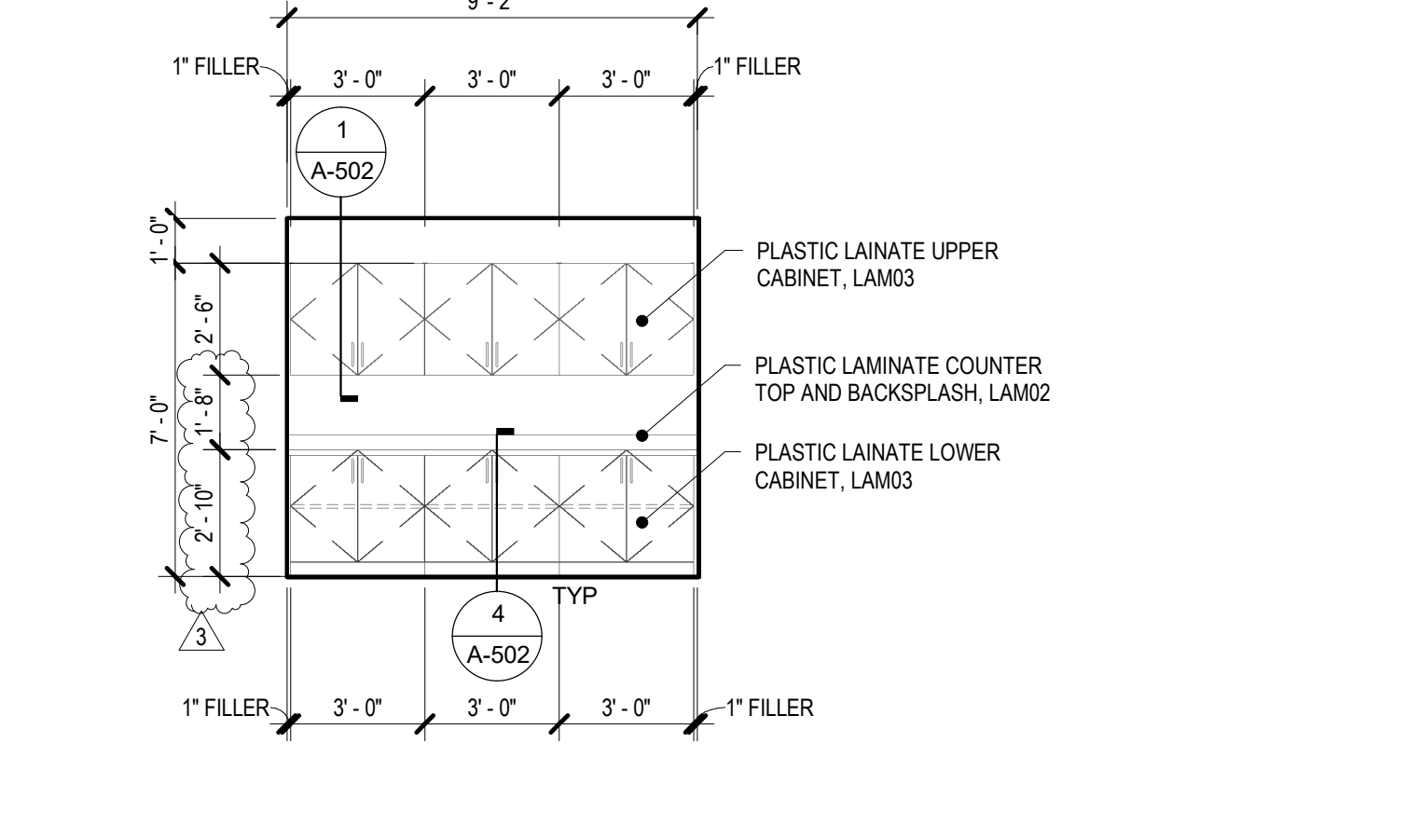
8
A-401
1/4" = 1'-0"

ENLARGED PLAN - TYP PRINTER POD



12
A-401
1/4" = 1'-0"

ENLARGED PLAN - TYP WORK AREA



13
A-401
1/4" = 1'-0"

INT ELEV - WORK AREA

UNIFORM CODE STATEMENT:
 TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 UNIFORM CODE.

ENERGY CODE WRITTEN STATEMENT:
 TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CODE.

WARNING:
 THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS B MISDEMEANOR.

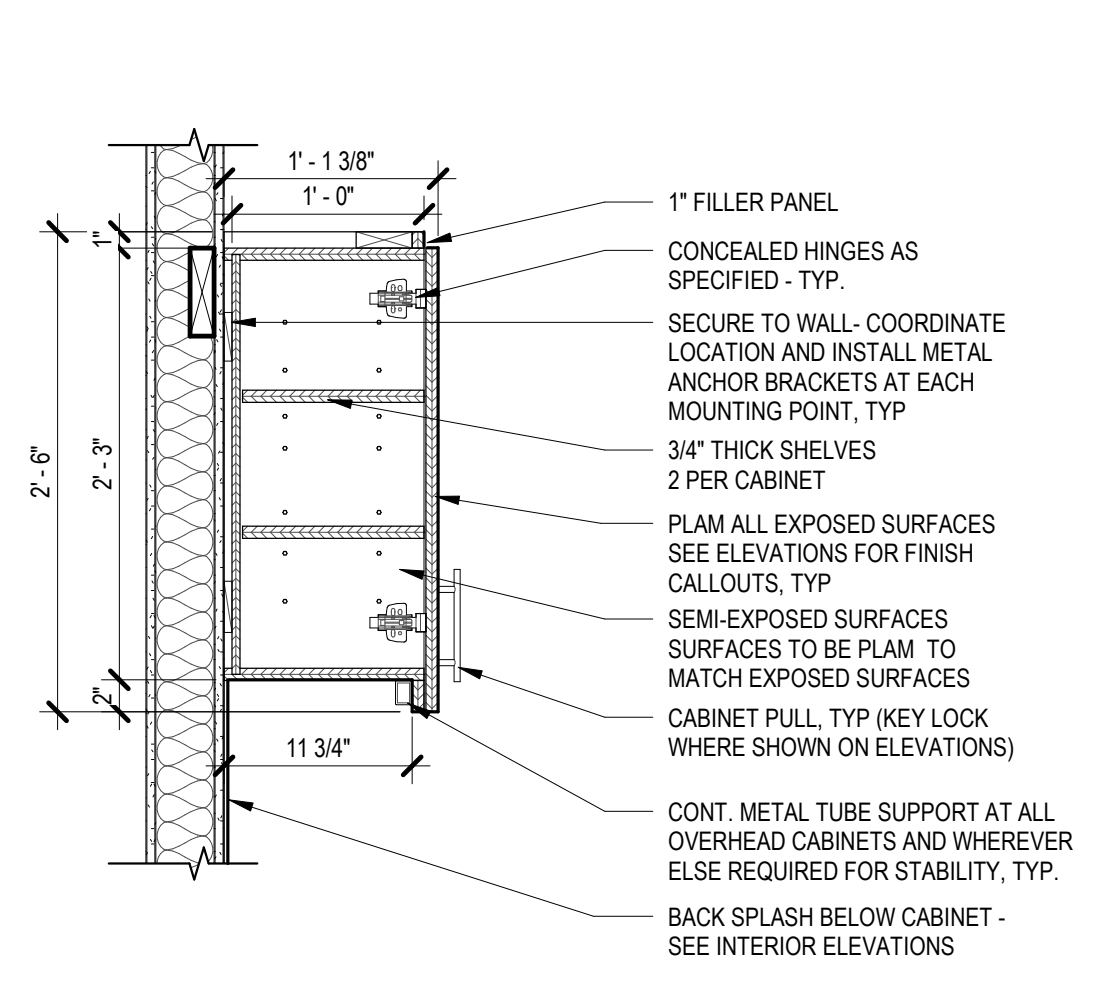
CERTIFICATE OF AUTHORIZATION #0018048

CONTRACT: CONSTRUCTION
TITLE: RENOVATE BUILDING 8, 8TH & 9TH FLOORS
LOCATION: STATE OFFICE BUILDING CAMPUS 1220 WASHINGTON AVENUE ALBANY, NY
CLIENT: NEW YORK STATE OFFICE OF GENERAL SERVICES

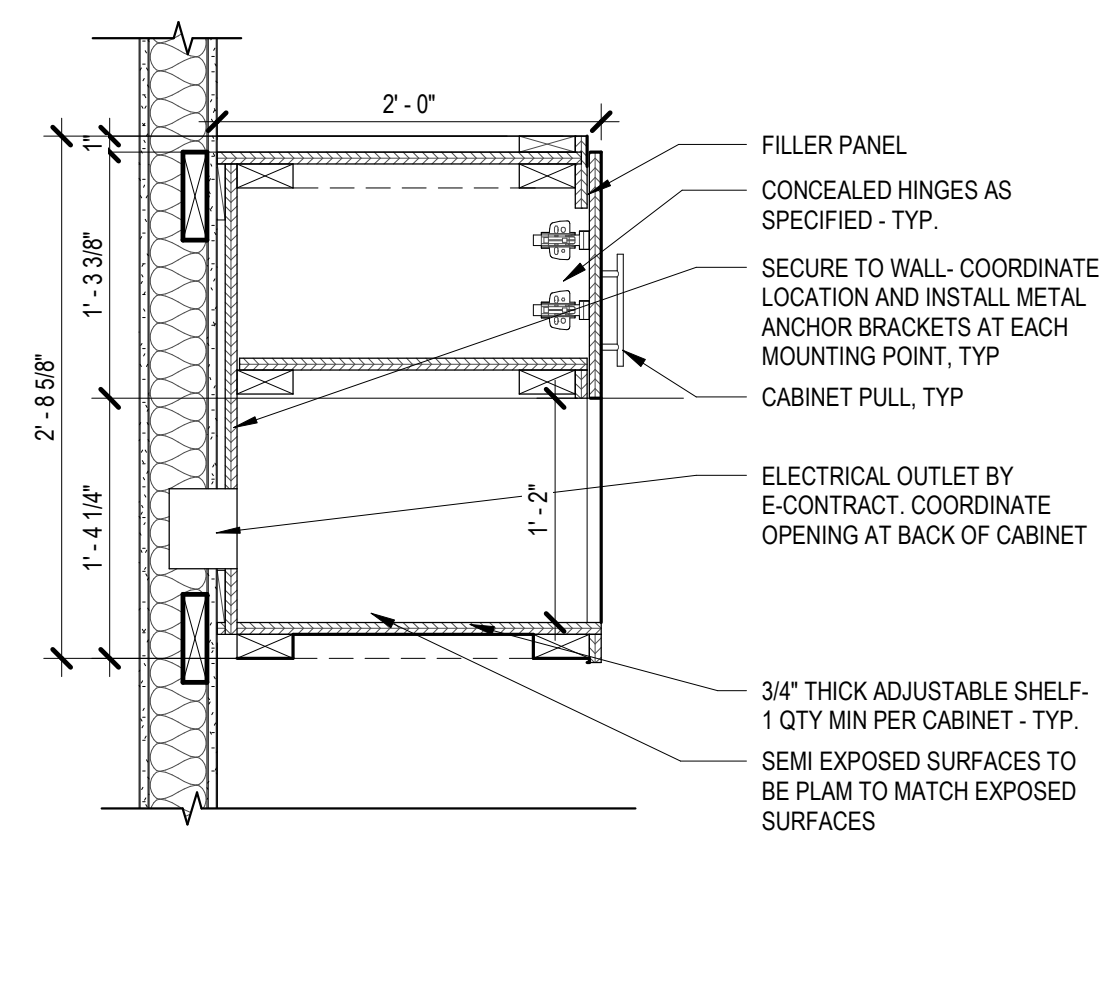
NO.	DATE	BY	DESCRIPTION
3	10/23/2024	ADDENDUM No. 003	
4	09/05/24	FINAL BIDD DOCUMENTS	
MARK	DATE	DESCRIPTION	

PROJECT NUMBER: 45382 - C
DESIGNED BY: DJS
DRAWN BY: KCR
FIELD CHECK BY:
APPROVED BY:

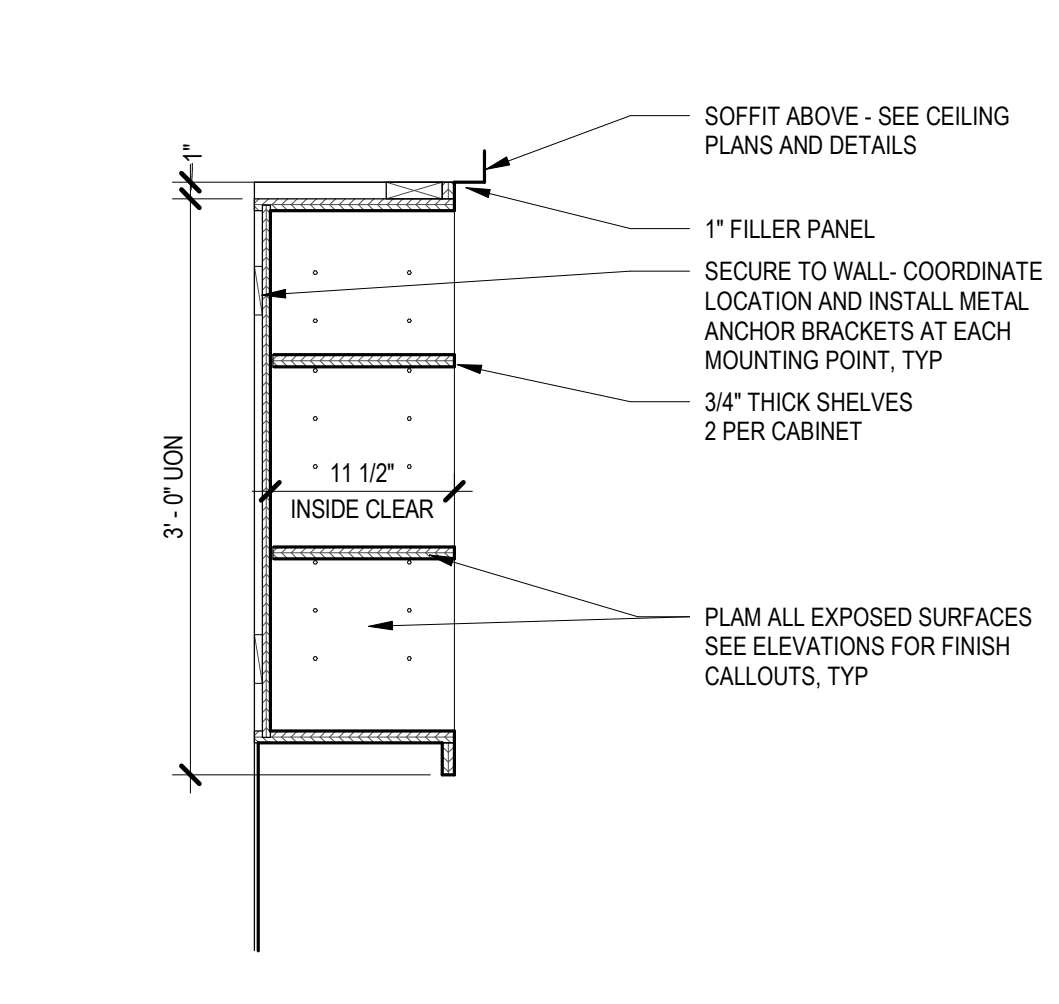
ENLARGED PLANS & ELEVATIONS



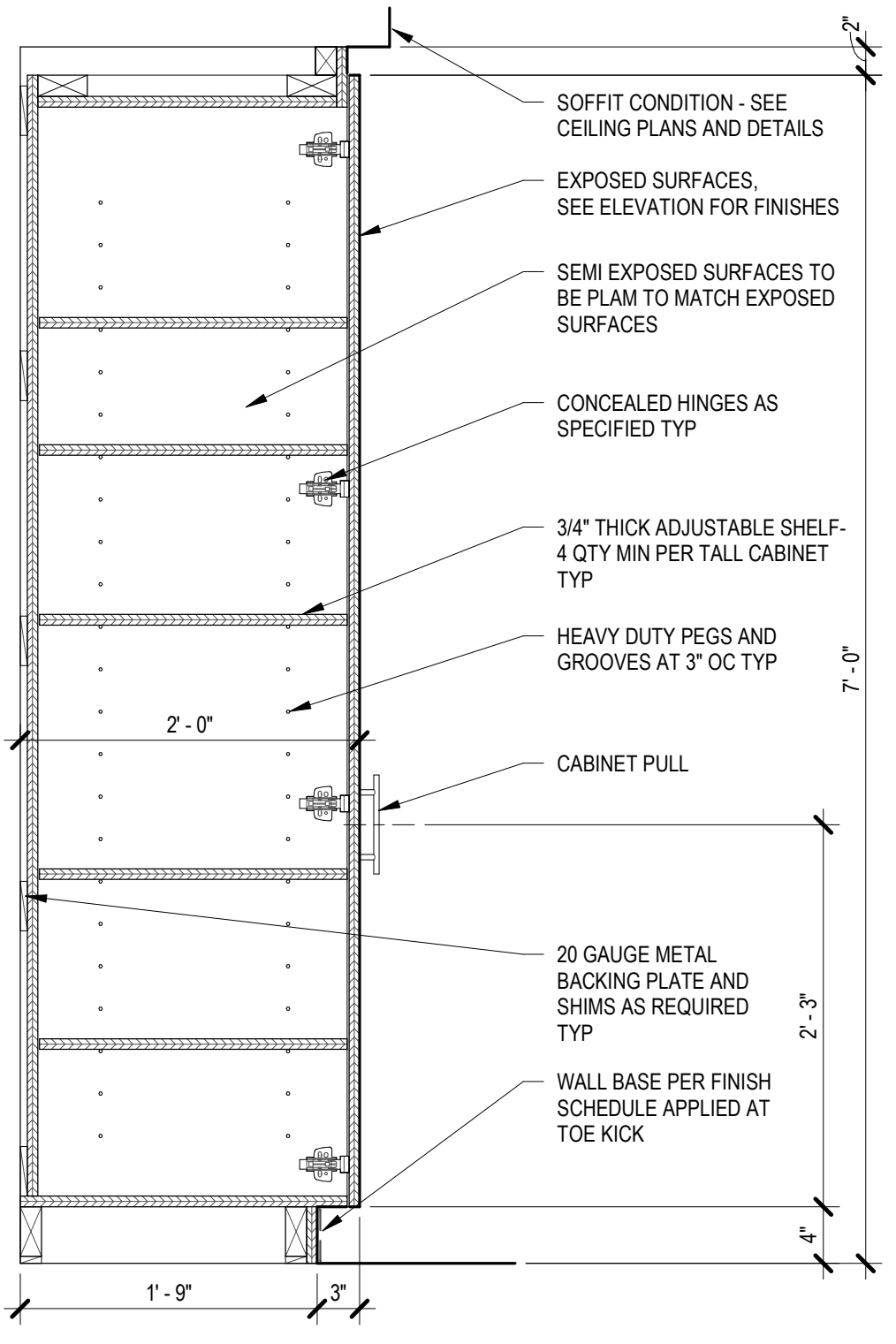
1 SECTION - UPPER CABINET
 A-502 1" = 1'-0"



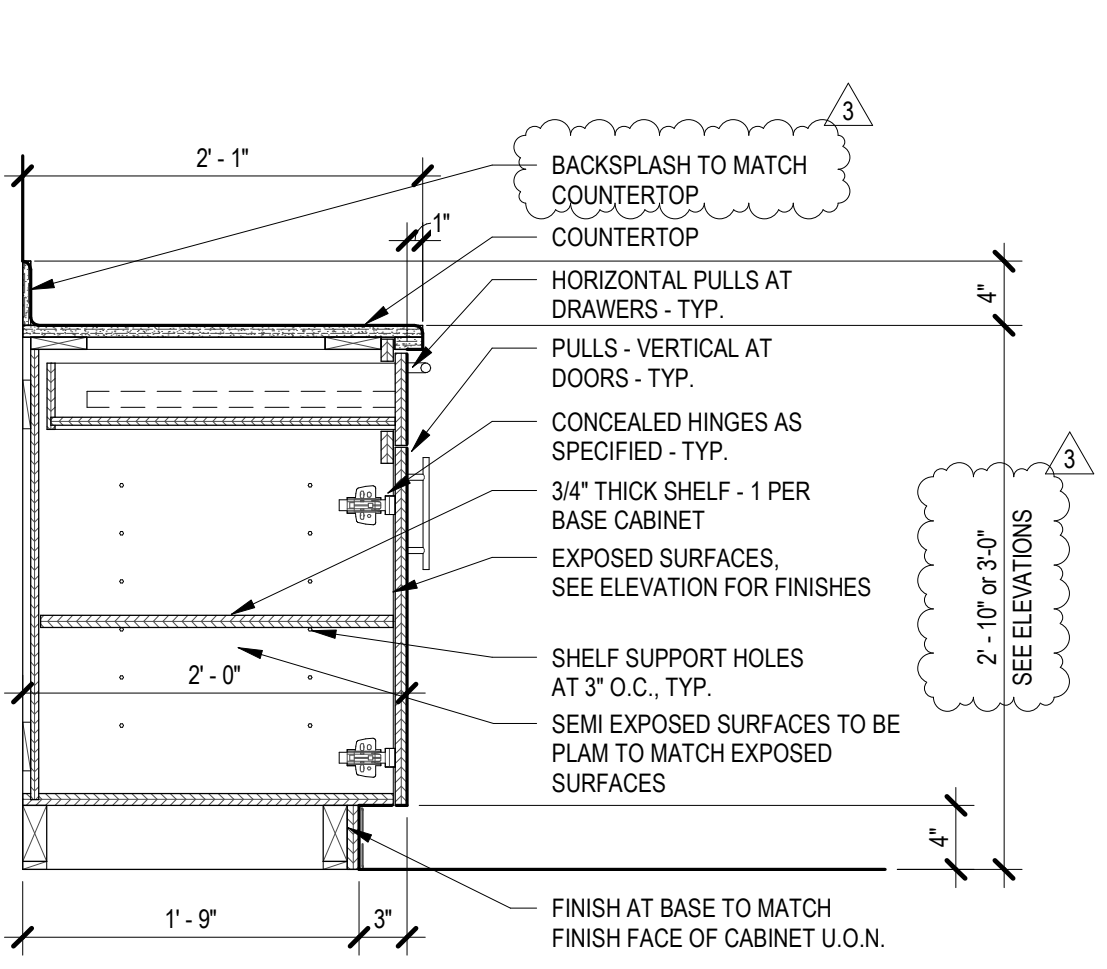
2 SECTION - MICROWAVE CABINET
 A-502 1" = 1'-0"



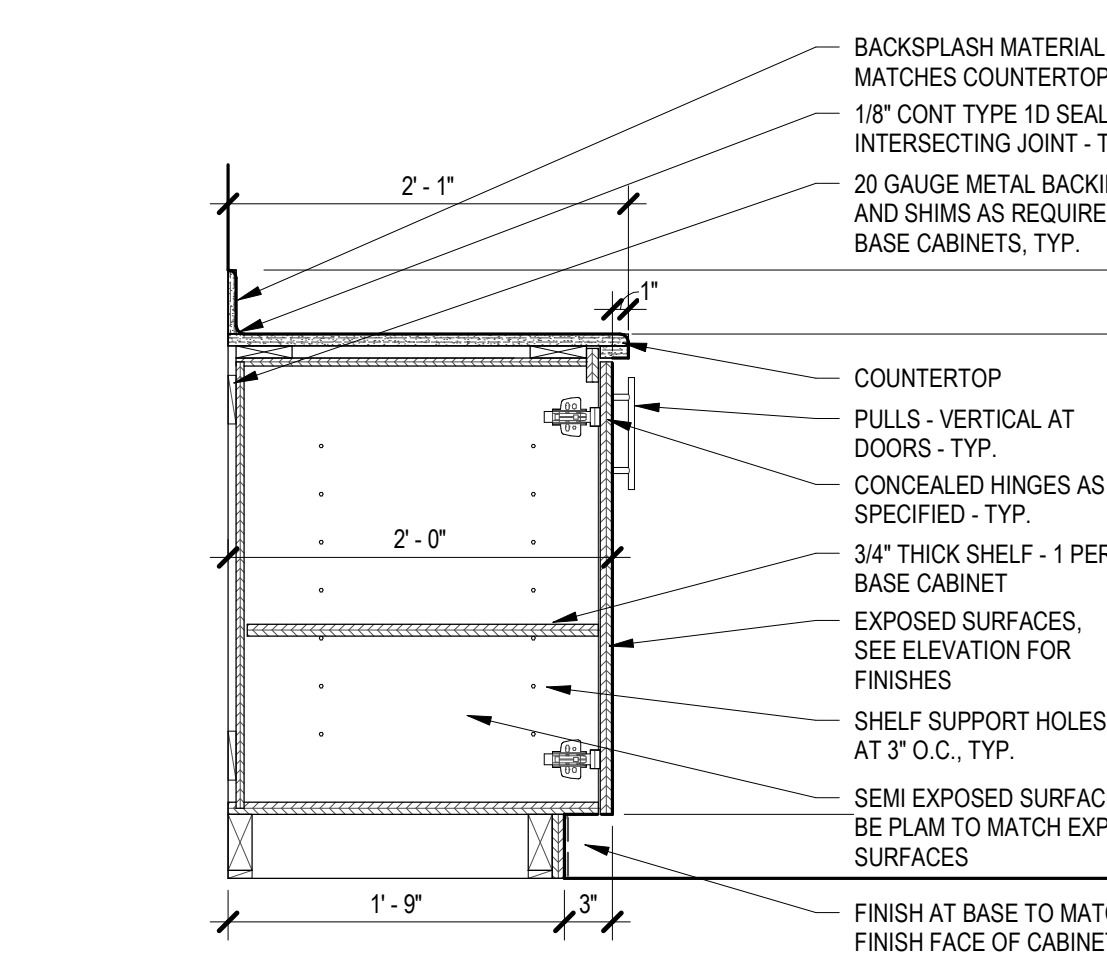
3 SECTION - OPEN SHELVES
 A-502 1" = 1'-0"



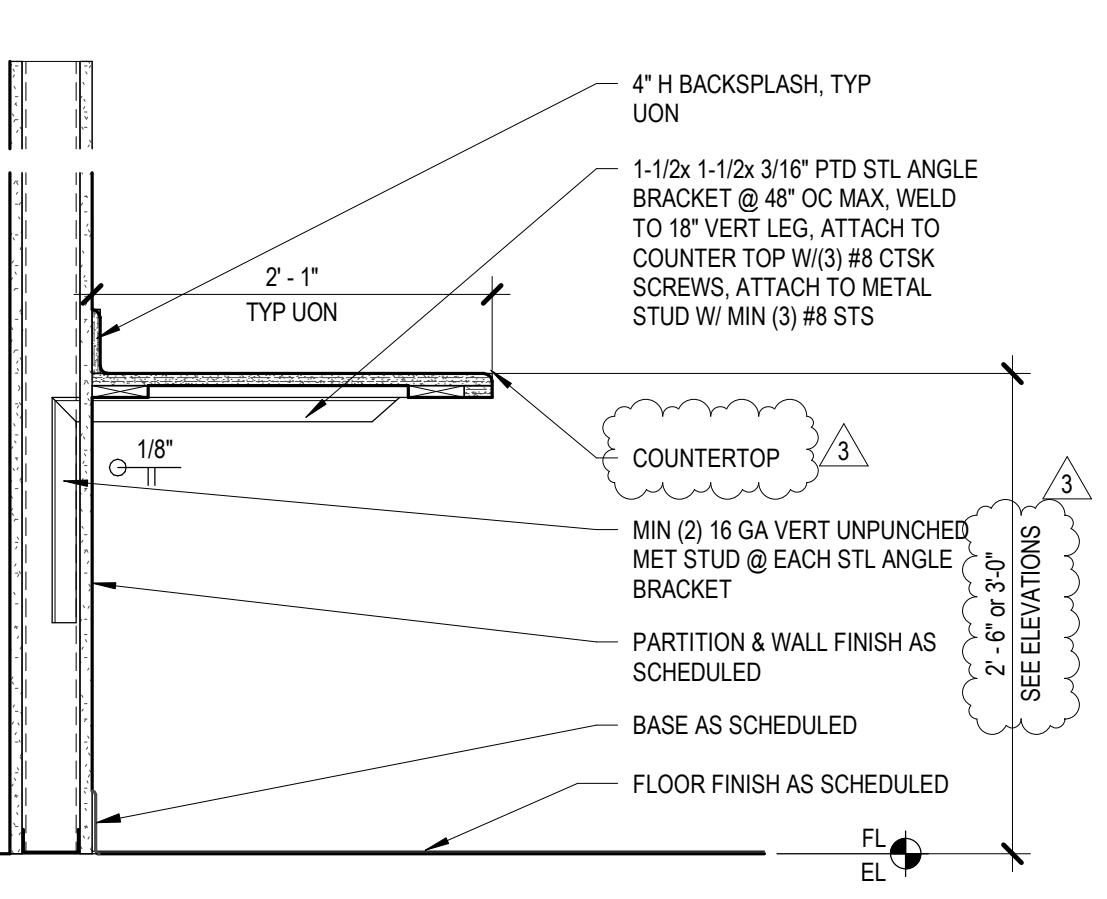
7 SECTION - CABINET - DOUBLE HIGH FULL
 A-502 1" = 1'-0"



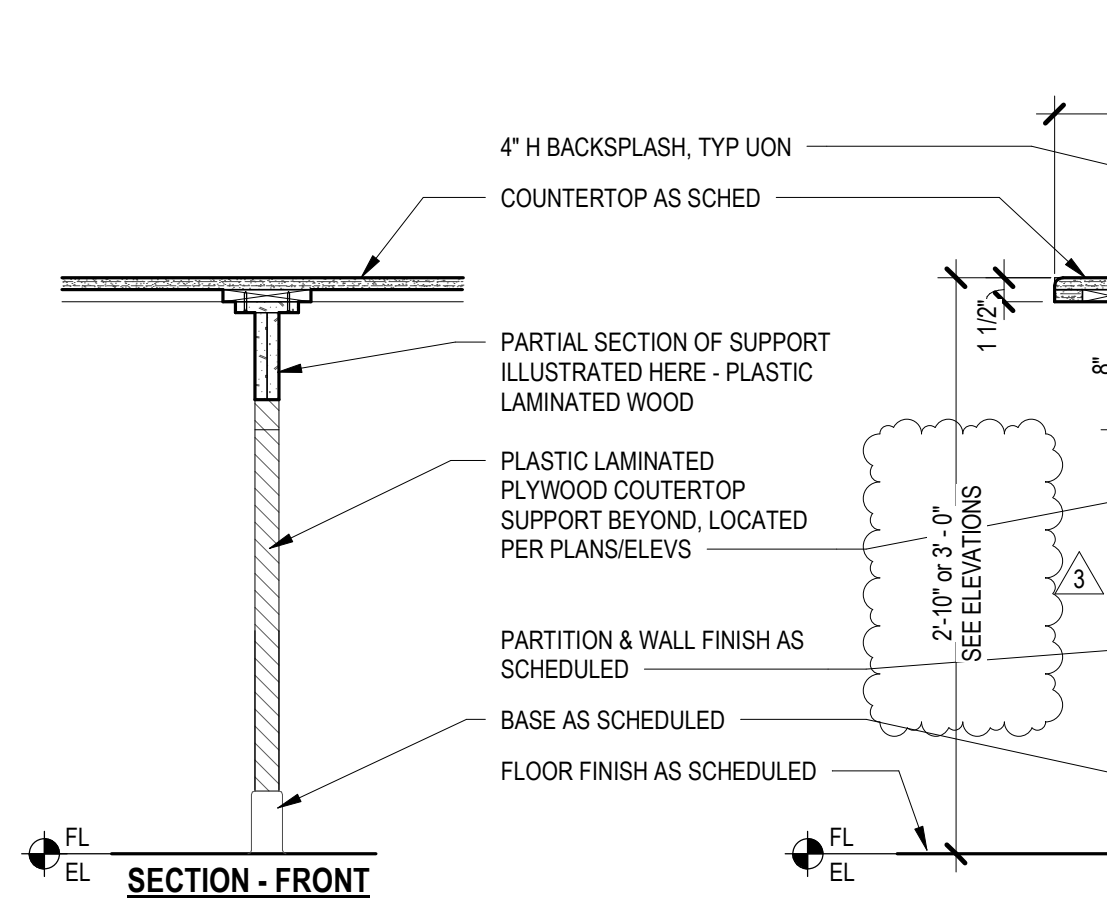
4 SECTION - BASE CABINET - DOOR & DRAWER
 A-502 1" = 1'-0"



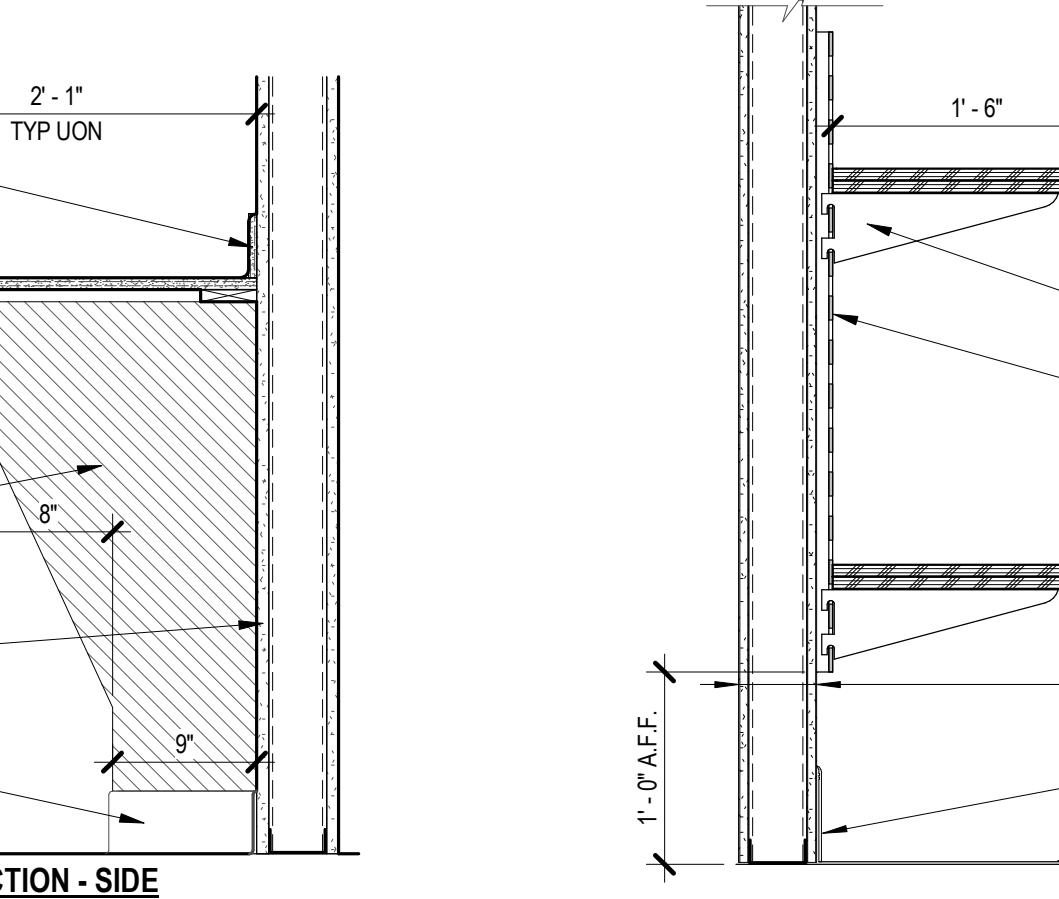
5 SECTION - BASE CABINET - SINGLE DOOR
 A-502 1" = 1'-0"



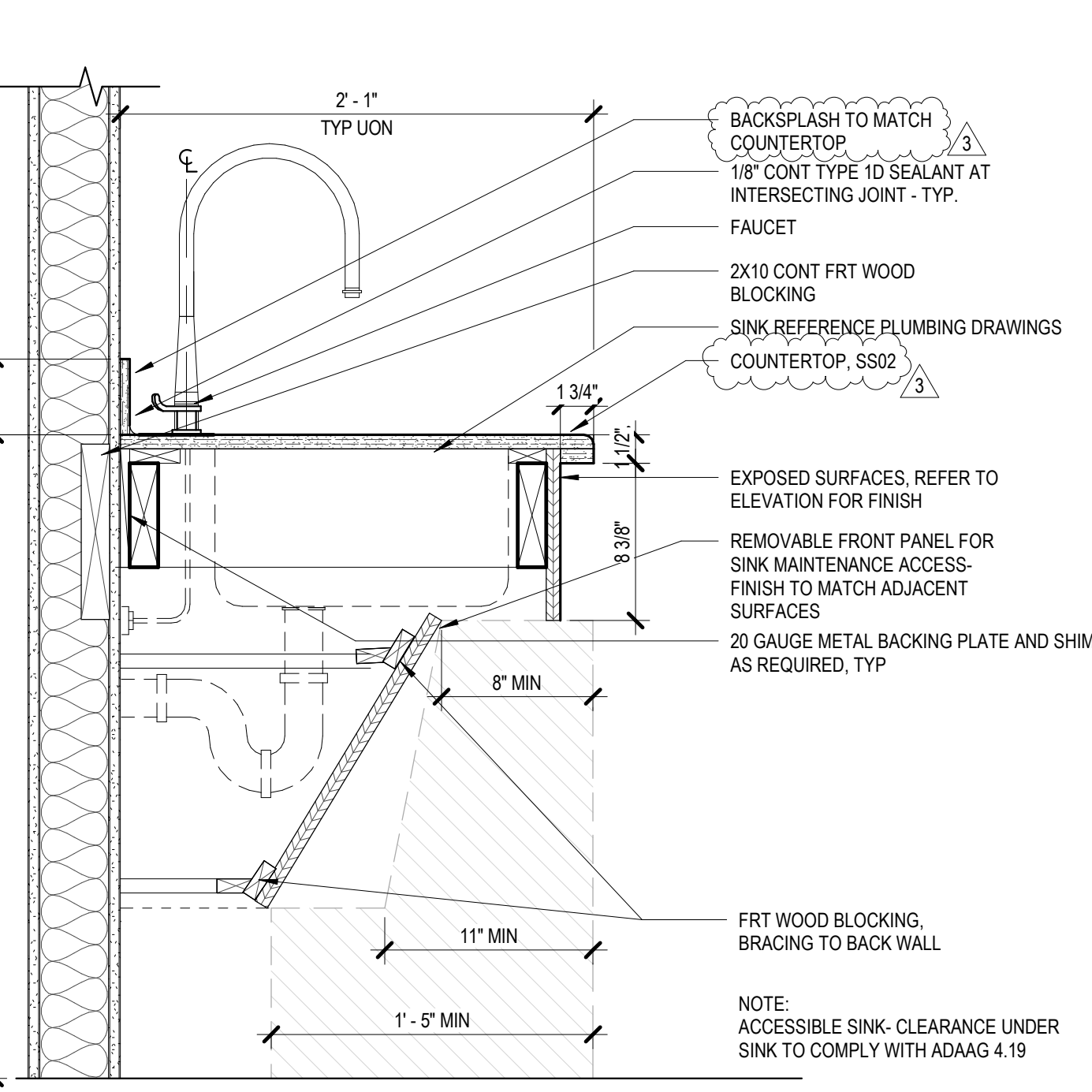
8 SECTION - COUNTERTOP - CONCEALED
 A-502 1" = 1'-0"



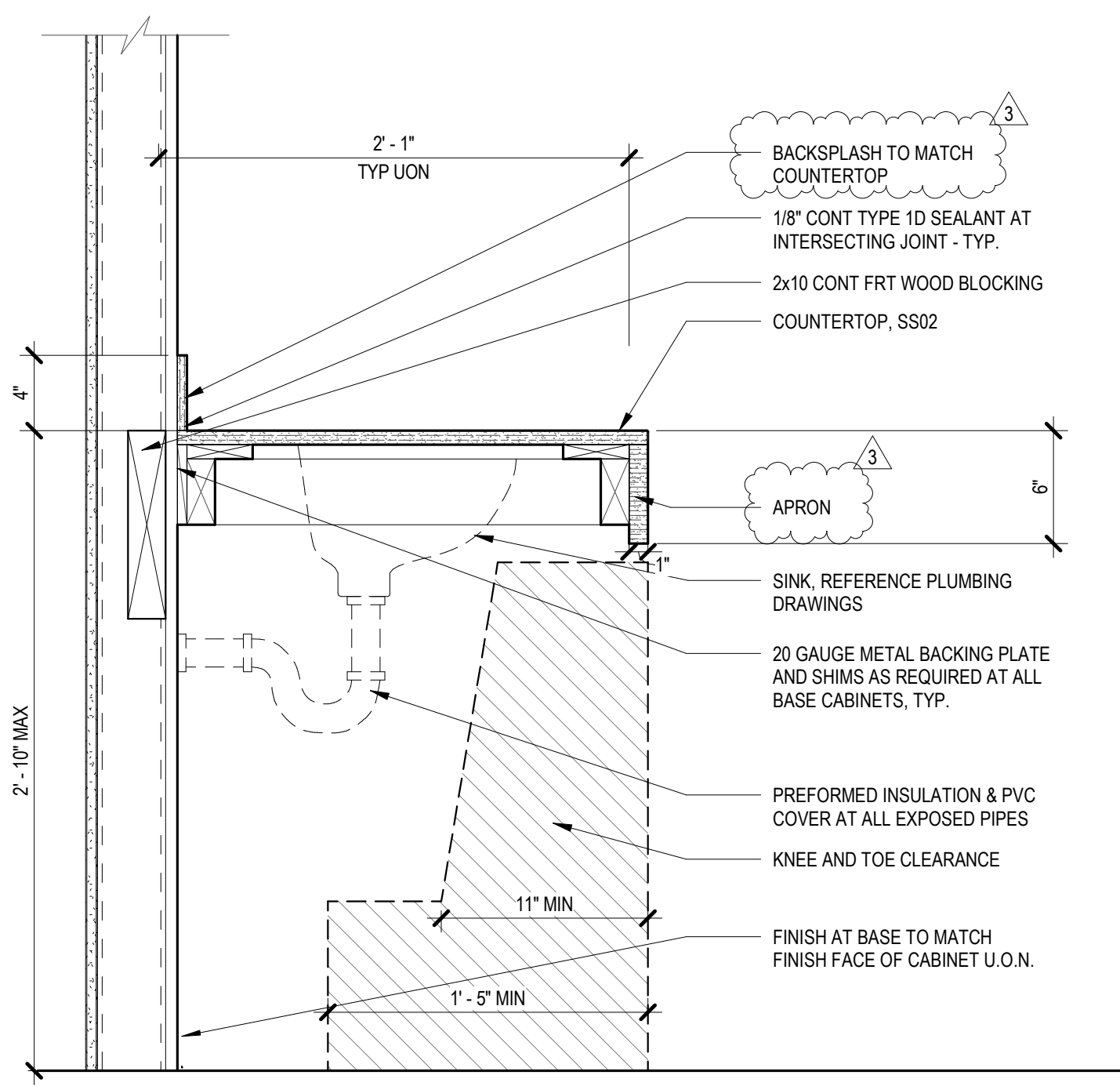
9 SECTION - COUNTERTOP - PANEL SUPPORTED
 A-502 1" = 1'-0"



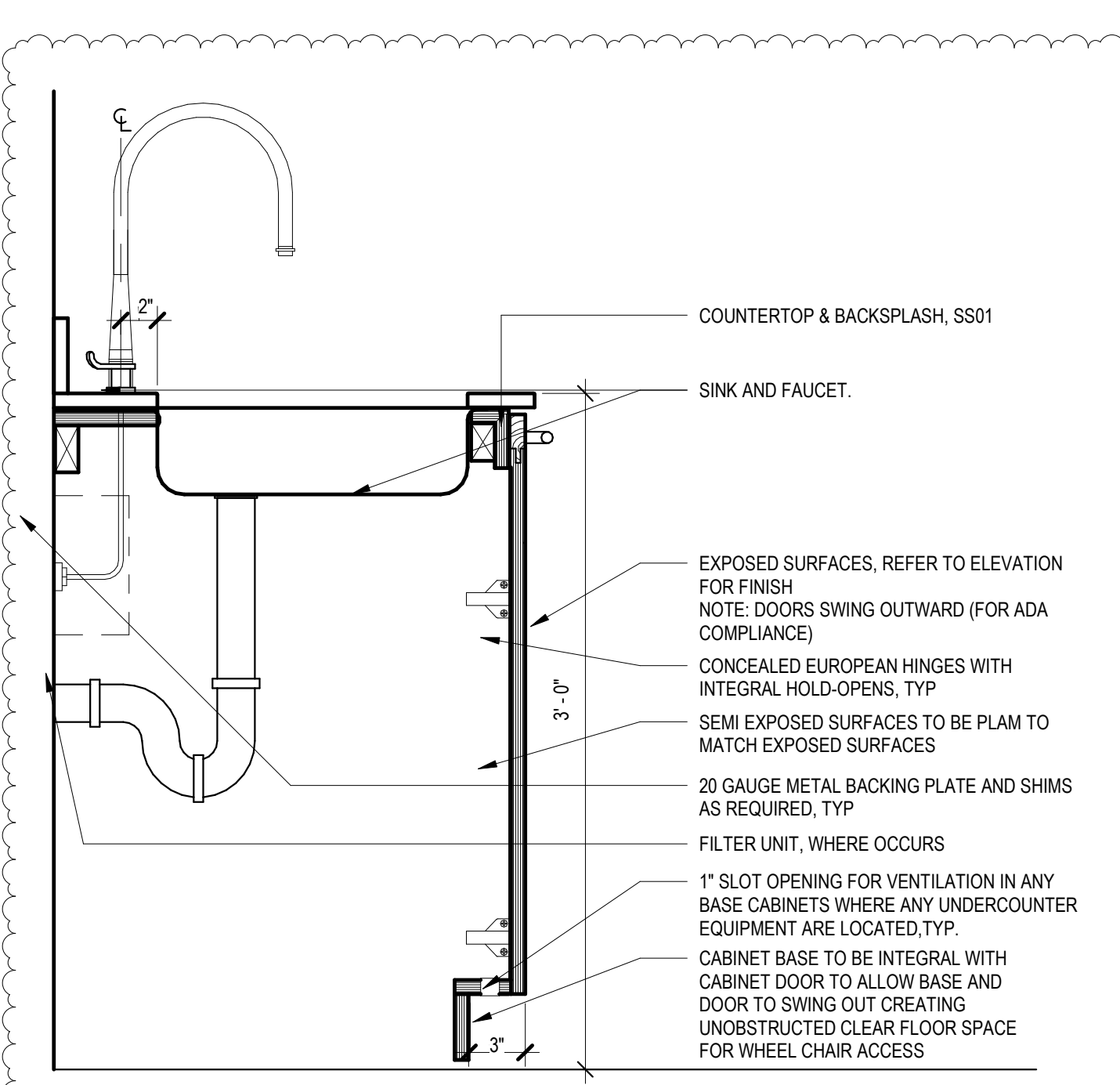
10 SECTION - ADJUSTABLE SHELVES
 A-502 1" = 1'-0"



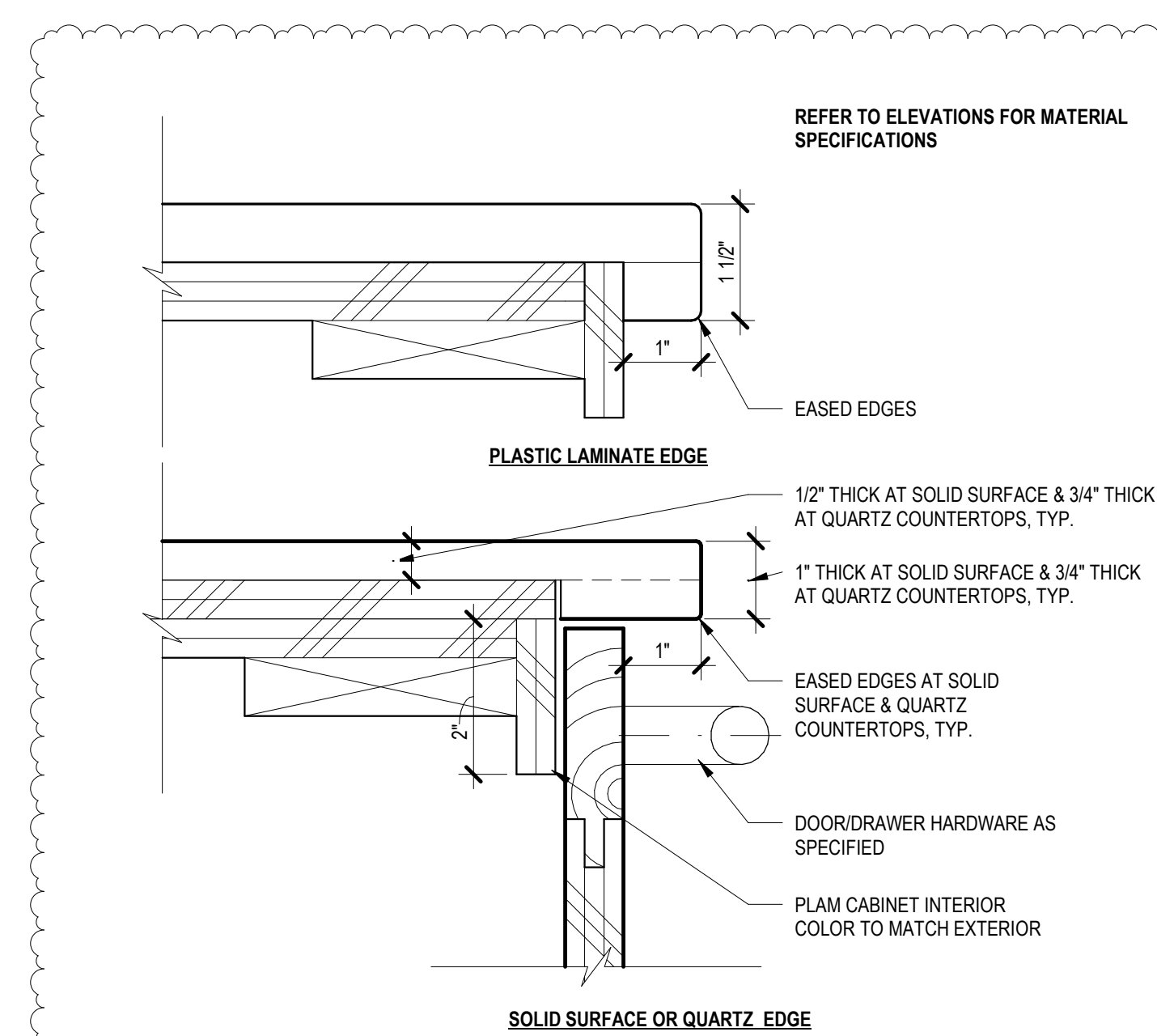
11 MILLWORK SECTION - SINK COUNTER
 A-502 1 1/2" = 1'-0"



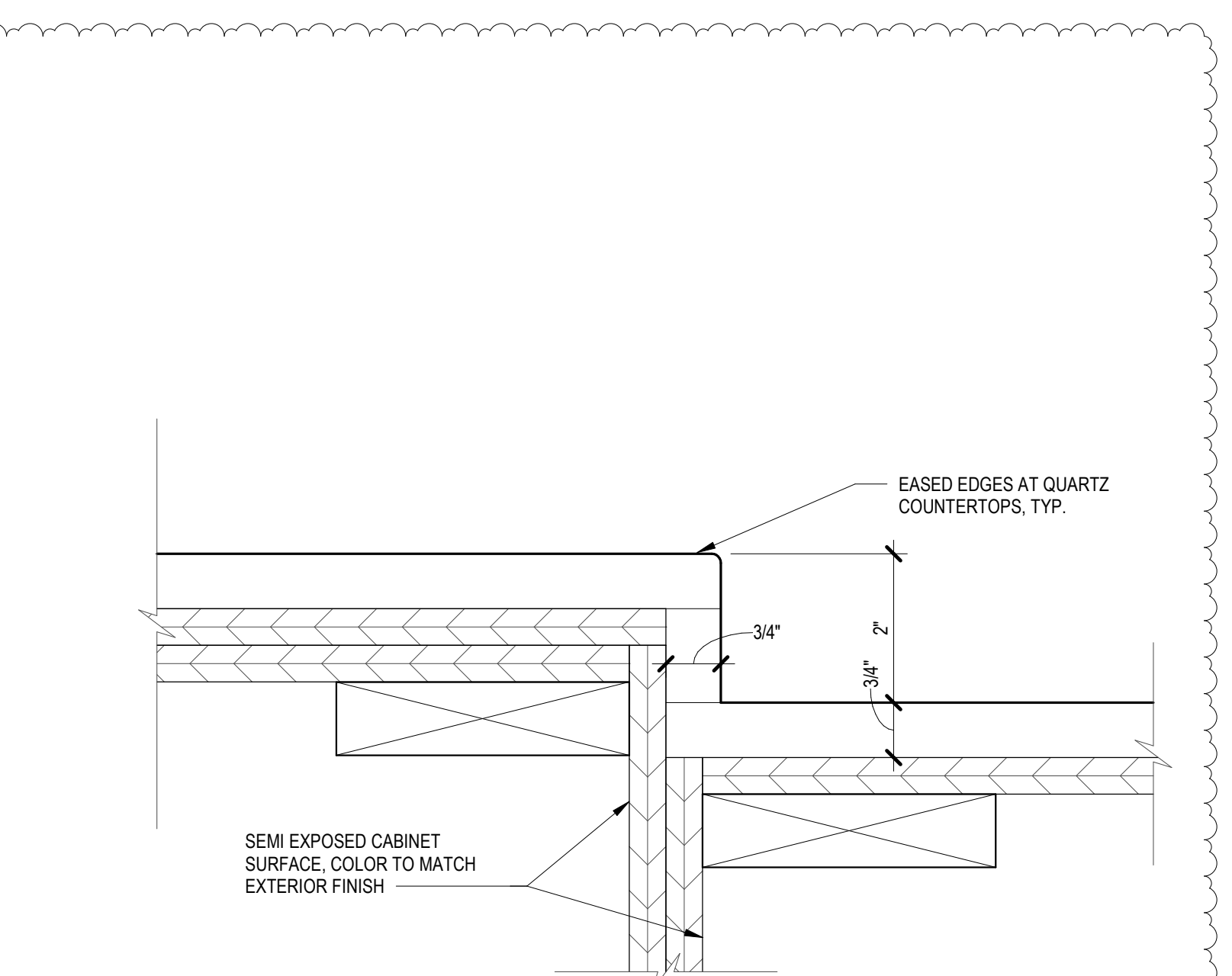
12 ADA RESTROOM COUNTER
 A-502 1 1/2" = 1'-0"



13 SECTION - BASE CABINET
 A-502 1 1/2" = 1'-0"



14 DETAIL - COUNTER TOP EDGE DETAILS
 A-502 6" = 1'-0"



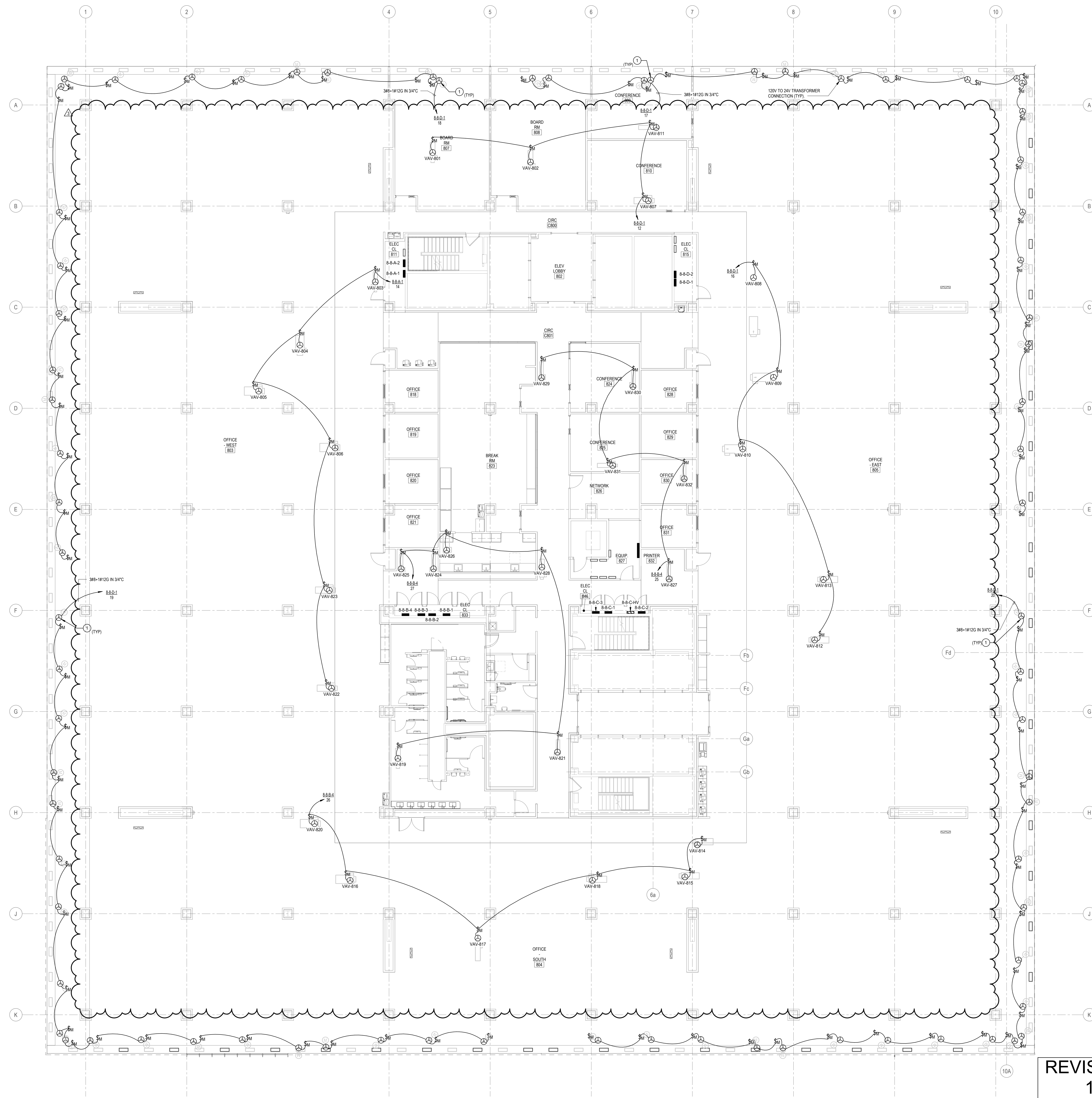
15 DETAIL - COUNTER HEIGHT TRANSITION
 A-502 6" = 1'-0"

UNIFORM CODE STATEMENT:
 TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 UNIFORM CODE.
 ENERGY CODE WRITTEN STATEMENT:
 TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CODE.

WARNING:
 THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS "B" MISDEMEANOR.
 STATE OF NEW YORK
 REGISTERED PROFESSIONAL ARCHITECT

CONTRACT: CONSTRUCTION
 TITLE: RENOVATE BUILDING 8, 8TH & 9TH FLOORS
 LOCATION: STATE OFFICE BUILDING CAMPUS 1220 WASHINGTON AVENUE ALBANY, NY
 CLIENT: NEW YORK STATE OFFICE OF GENERAL SERVICES

NO.	DATE	DESCRIPTION
3	10/23/2024	Issued for No. 001
4	3/6/2024	FINAL 800 DOCUMENTS
MARK	DATE	DESCRIPTION
PROJECT NUMBER: 45382 - C		
DESIGNED BY: DJS		
DRAWN BY: KCR		
FIELD CHECK BY:		
APPROVED BY:		
SHEET TITLE:		



GENERAL ASBESTOS ABATEMENT NOTES:

- EXISTING CONCRETE FLOORS, METAL CEILING DECKS, PLASTER AND GAO WALLS ARE CONTAMINATED WITH ASBESTOS. ALL ELECTRICAL WORK IMPACTING THESE SURFACES SHALL BE COMPLETED BY A LICENSED ASBESTOS ABATEMENT CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, AS WELL AS SECTION 0813 AND THE APPROVED SITE SPECIFIC VARIANCE FILE NO. 23-1078. WORK INCLUDES: PULLING NEW WIRES IN EXISTING RACEWAYS, FEEDERS, ETC., MOUNTING BACKERBOARDS TO EXISTING CMU WALLS, INSTALLING HANGERS TO METAL DECK ON THE 7TH AND 8TH FLOORS ONLY, AND INSTALLING CORES IN THE 7TH AND 8TH FLOOR CEILING/FLOOR DECKS, AND INSTALLING CORES THROUGH EXISTING PLASTER/GAO WALLS.
- REFER TO SPECIFICATION SECTION 03126 FOR EXISTING HAZARDOUS MATERIALS INFORMATION AND THE RE-REMEDIATION HAZARDOUS MATERIALS SURVEY REPORT APPENDED TO THE PROJECT MANUAL.
- ALL FLOOR PENETRATIONS PRESENT AT THE BEGINNING OF WORK OR EXPOSED DURING WORK SHALL BE SEALED WATER-TIGHT AND REMAIN SO THROUGHOUT THE ASBESTOS ABATEMENT ACTIVITIES. IT IS CRITICAL THAT THE CONTAINMENT AREAS REMAIN WATER-TIGHT THROUGHOUT THE DURATION OF THE WORK AND THAT NO LEAKS REACH THE OCCUPIED FLOORS BELOW. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE SEAMS ON THE FLOORS OF CONTAINMENT ENCLOSURES.

CODED NOTES:

- PROVIDE 120V CIRCUIT TO MOTOR RATED TOGGLE SWITCH WHICH IN TURN FEEDS POWER TO LOW VOLTAGE TRANSFORMER PROVIDED BY THE CONTRACTOR. CONTROL SWAPER. COORDINATE EXACT LOCATION OF TOGGLE SWITCH WITH THE CONTRACTOR.
- PROVIDE 120V CIRCUIT TO MOTOR RATED TOGGLE SWITCH WHICH IN TURN FEEDS POWER TO TRANSFORMER PROVIDED BY THE CONTRACTOR TO CONTROL VAV. COORDINATE EXACT LOCATION OF TOGGLE SWITCH WITH THE CONTRACTOR.

1 8TH FLOOR MECHANICAL POWER PLAN
 1/8" = 1'-0"

REVISED DRAWING
 10/23/2024

UNIFORM CODE STATEMENT:
 TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 UNIFORM CODE.

ENERGY CODE WRITTEN STATEMENT:
 TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CODE.

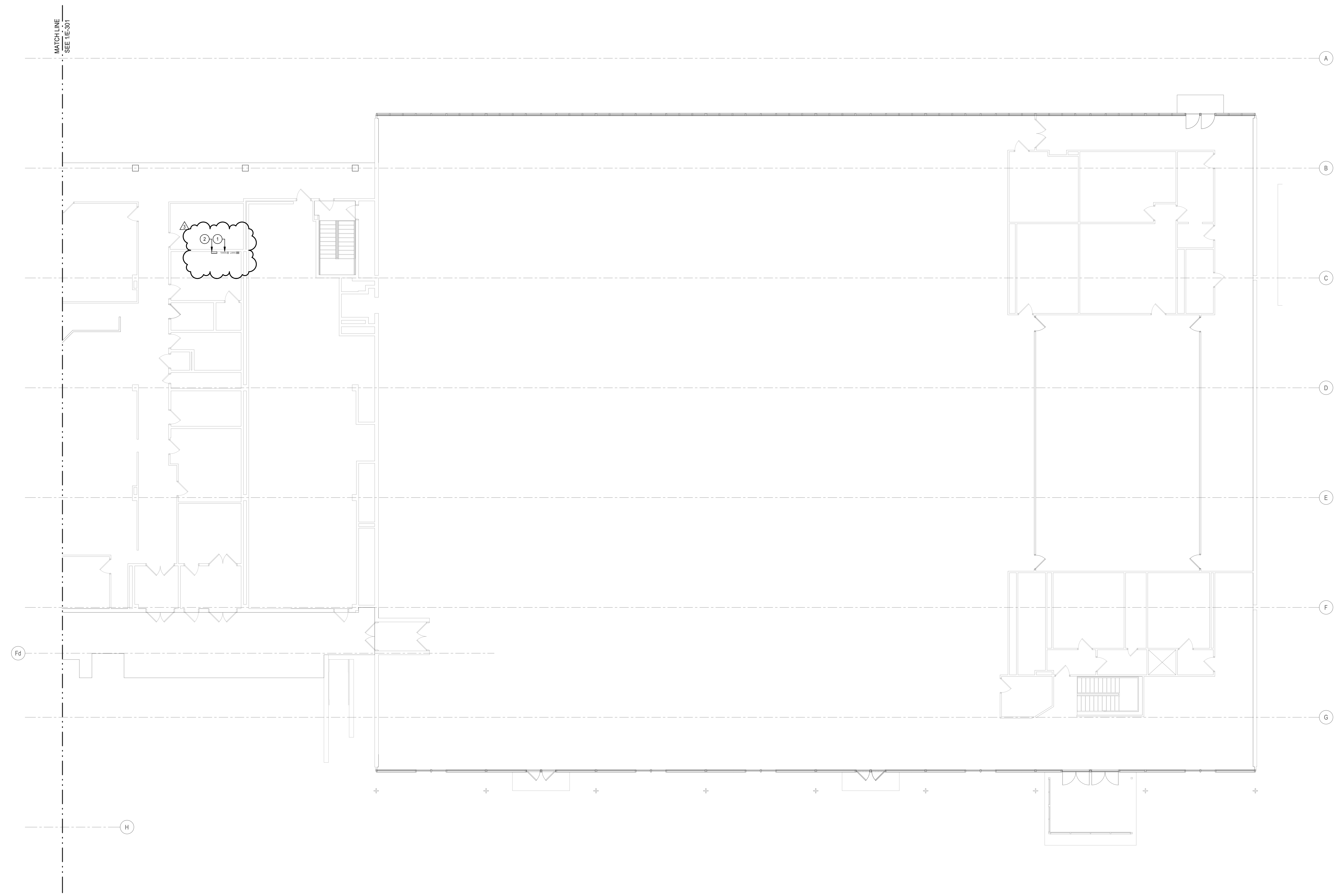
WARNING:
 THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT OR ARCHITECT-ENGINEER, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS "M" MISDEMEANOR.

CONTRACT: ELECTRICAL
TITLE: RENOVATE BUILDING 8, 8TH & 9TH FLOORS
LOCATION: STATE OFFICE BUILDING CAMPUS
 1220 WASHINGTON AVENUE
 ALBANY, NY
CLIENT: NEW YORK STATE OFFICE OF GENERAL SERVICES

MARK	DATE	DESCRIPTION
3	10/23/2024	ADDENDUM 3
A	09/09/2024	FINAL 80 DOCUMENTS

PROJECT NUMBER: 45382 - E
DESIGNED BY: PMR
DRAWN BY: TJD
FIELD CHECK BY:
APPROVED BY:
SHEET TITLE: 8TH FLOOR MECHANICAL POWER PLAN
DRAWING NUMBER: E-108M
 SHEET 15 OF 48

- CODED NOTES**
- EXISTING (A) SHALL REMAIN, SHOWN FOR REFERENCE ONLY.
 - PROVIDE POWER TO REMOTE FIRE ALARM PANEL.



UNIFORM CODE STATEMENT:
 TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 UNIFORM CODE.

ENERGY CODE WRITTEN STATEMENT:
 TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CODE.

WARNING:
 THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS "A" MISDEMEANOR.



CONTRACT: ELECTRICAL
TITLE: RENOVATE BUILDING 8, 8TH & 9TH FLOORS
LOCATION: STATE OFFICE BUILDING CAMPUS
 1220 WASHINGTON AVENUE
 ALBANY, NY
CLIENT: NEW YORK STATE OFFICE OF GENERAL SERVICES

MARK	DATE	DESCRIPTION
3	10/23/2024	ADDENDUM 3
A	09/09/2024	FINAL SD DOCUMENTS

PROJECT NUMBER: 45382 - E
DESIGNED BY: PMR
DRAWN BY: TJD
FIELD CHECK BY:
APPROVED BY:

SHEET TITLE: BUILDING 8A - GROUND FLOOR SYSTEMS PLAN
DRAWING NUMBER: E-301A

SHEET 26 OF 48

1 BUILDING 8A - GROUND FLOOR SYSTEMS PLAN
 1/8" = 1'-0"

REVISED DRAWING
 10/23/2024



PANEL SCHEDULE 8-8-A-1. Table with columns for CKT NO., LOAD DESCRIPTION, AMPS, POLES, CONN. LOAD PHASE A (KVA), CONN. LOAD PHASE B (KVA), CONN. LOAD PHASE C (KVA), POLES, AMPS, LOAD DESCRIPTION, CKT NO. Includes a circled callout for items 15-24.

PANEL SCHEDULE 8-8-B-2. Table with columns for CKT NO., LOAD DESCRIPTION, AMPS, POLES, CONN. LOAD PHASE A (KVA), CONN. LOAD PHASE B (KVA), CONN. LOAD PHASE C (KVA), POLES, AMPS, LOAD DESCRIPTION, CKT NO.

PANEL SCHEDULE 8-8-C-1. Table with columns for CKT NO., LOAD DESCRIPTION, AMPS, POLES, CONN. LOAD PHASE A (KVA), CONN. LOAD PHASE B (KVA), CONN. LOAD PHASE C (KVA), POLES, AMPS, LOAD DESCRIPTION, CKT NO.

PANEL SCHEDULE 8-8-A-2. Table with columns for CKT NO., LOAD DESCRIPTION, AMPS, POLES, CONN. LOAD PHASE A (KVA), CONN. LOAD PHASE B (KVA), CONN. LOAD PHASE C (KVA), POLES, AMPS, LOAD DESCRIPTION, CKT NO.

PANEL SCHEDULE 8-8-B-3. Table with columns for CKT NO., LOAD DESCRIPTION, AMPS, POLES, CONN. LOAD PHASE A (KVA), CONN. LOAD PHASE B (KVA), CONN. LOAD PHASE C (KVA), POLES, AMPS, LOAD DESCRIPTION, CKT NO.

PANEL SCHEDULE 8-8-C-2. Table with columns for CKT NO., LOAD DESCRIPTION, AMPS, POLES, CONN. LOAD PHASE A (KVA), CONN. LOAD PHASE B (KVA), CONN. LOAD PHASE C (KVA), POLES, AMPS, LOAD DESCRIPTION, CKT NO.

PANEL SCHEDULE 8-8-B-1. Table with columns for CKT NO., LOAD DESCRIPTION, AMPS, POLES, CONN. LOAD PHASE A (KVA), CONN. LOAD PHASE B (KVA), CONN. LOAD PHASE C (KVA), POLES, AMPS, LOAD DESCRIPTION, CKT NO.

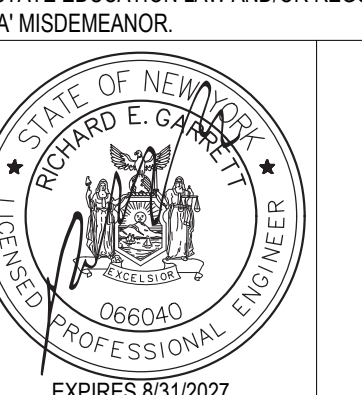
PANEL SCHEDULE 8-8-B-4. Table with columns for CKT NO., LOAD DESCRIPTION, AMPS, POLES, CONN. LOAD PHASE A (KVA), CONN. LOAD PHASE B (KVA), CONN. LOAD PHASE C (KVA), POLES, AMPS, LOAD DESCRIPTION, CKT NO.

PANEL SCHEDULE 8-8-C-3. Table with columns for CKT NO., LOAD DESCRIPTION, AMPS, POLES, CONN. LOAD PHASE A (KVA), CONN. LOAD PHASE B (KVA), CONN. LOAD PHASE C (KVA), POLES, AMPS, LOAD DESCRIPTION, CKT NO.

UNIFORM CODE STATEMENT: TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 UNIFORM CODE.

ENERGY CODE WRITTEN STATEMENT: TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CODE.

WARNING: THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, LE, ARCHITECT OR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS "A" MISDEMEANOR.



ELECTRICAL

RENOVATE BUILDING 8, 8TH & 9TH FLOORS

LOCATION: STATE OFFICE BUILDING CAMPUS 1220 WASHINGTON AVENUE ALBANY, NY

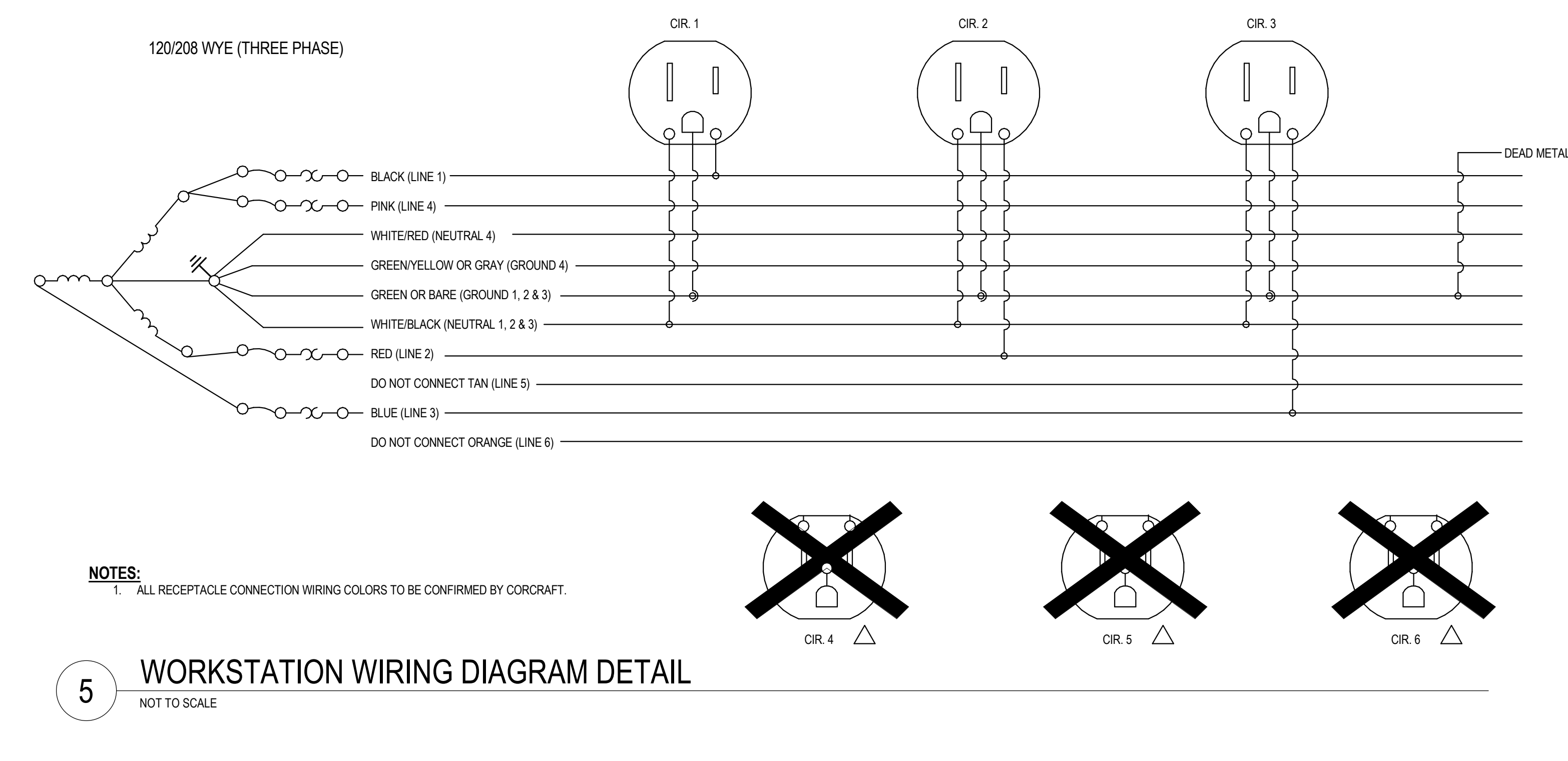
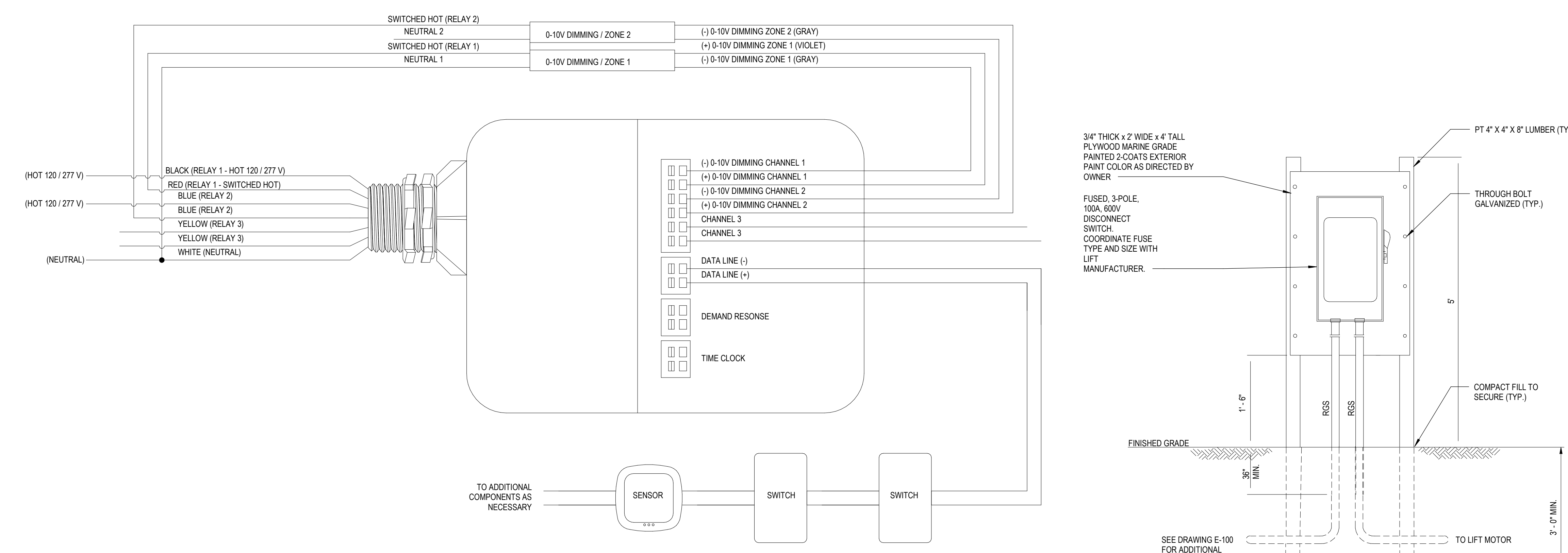
CLIENT: NEW YORK STATE OFFICE OF GENERAL SERVICES

Table with columns for PROJECT NUMBER, DESIGNED BY, DRAWN BY, FIELD CHECK BY, APPROVED BY, SHEET TITLE. Includes drawing number 45382-E and sheet title PANEL SCHEDULES.

REVISED DRAWING 10/23/2024

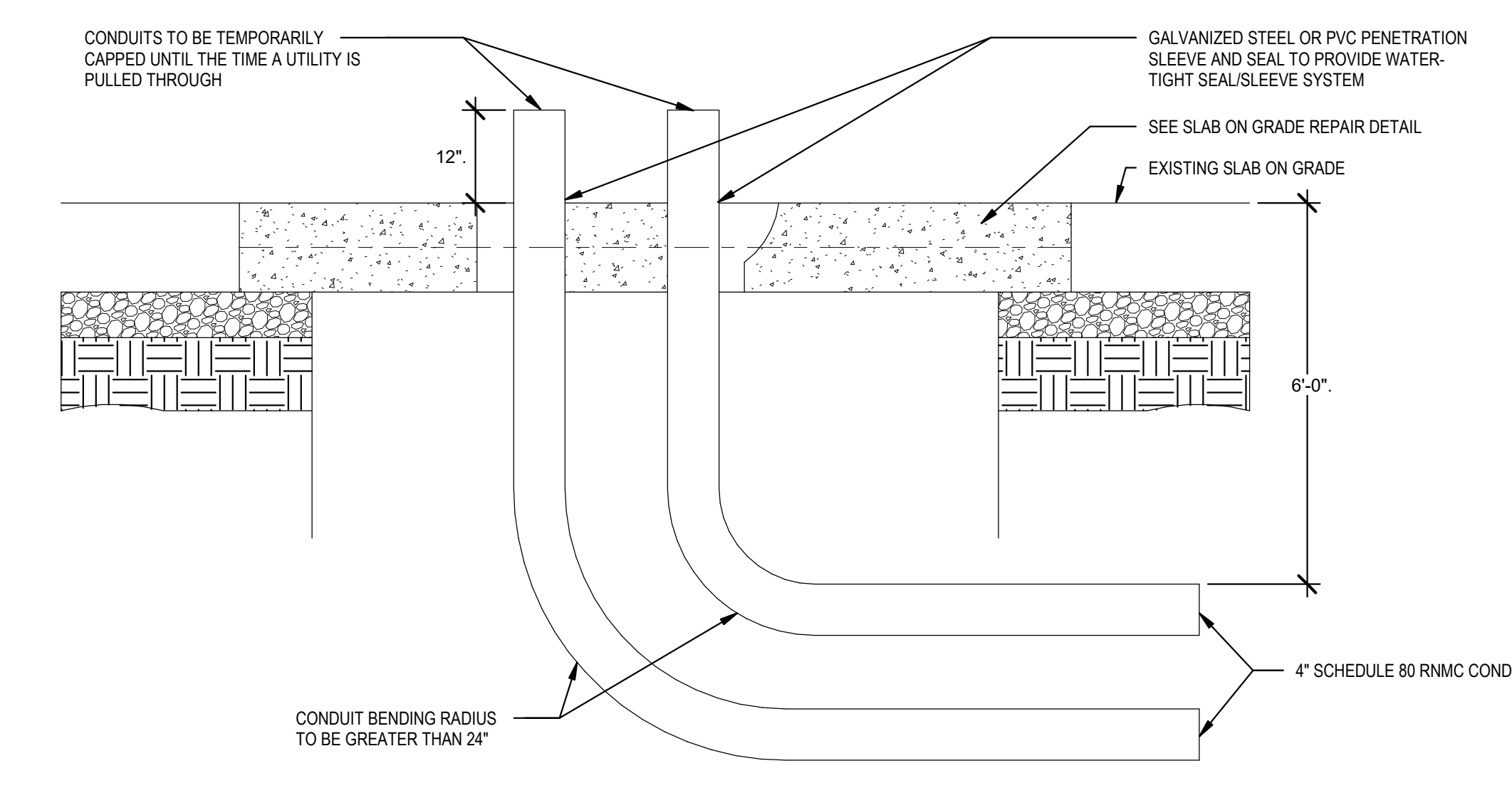
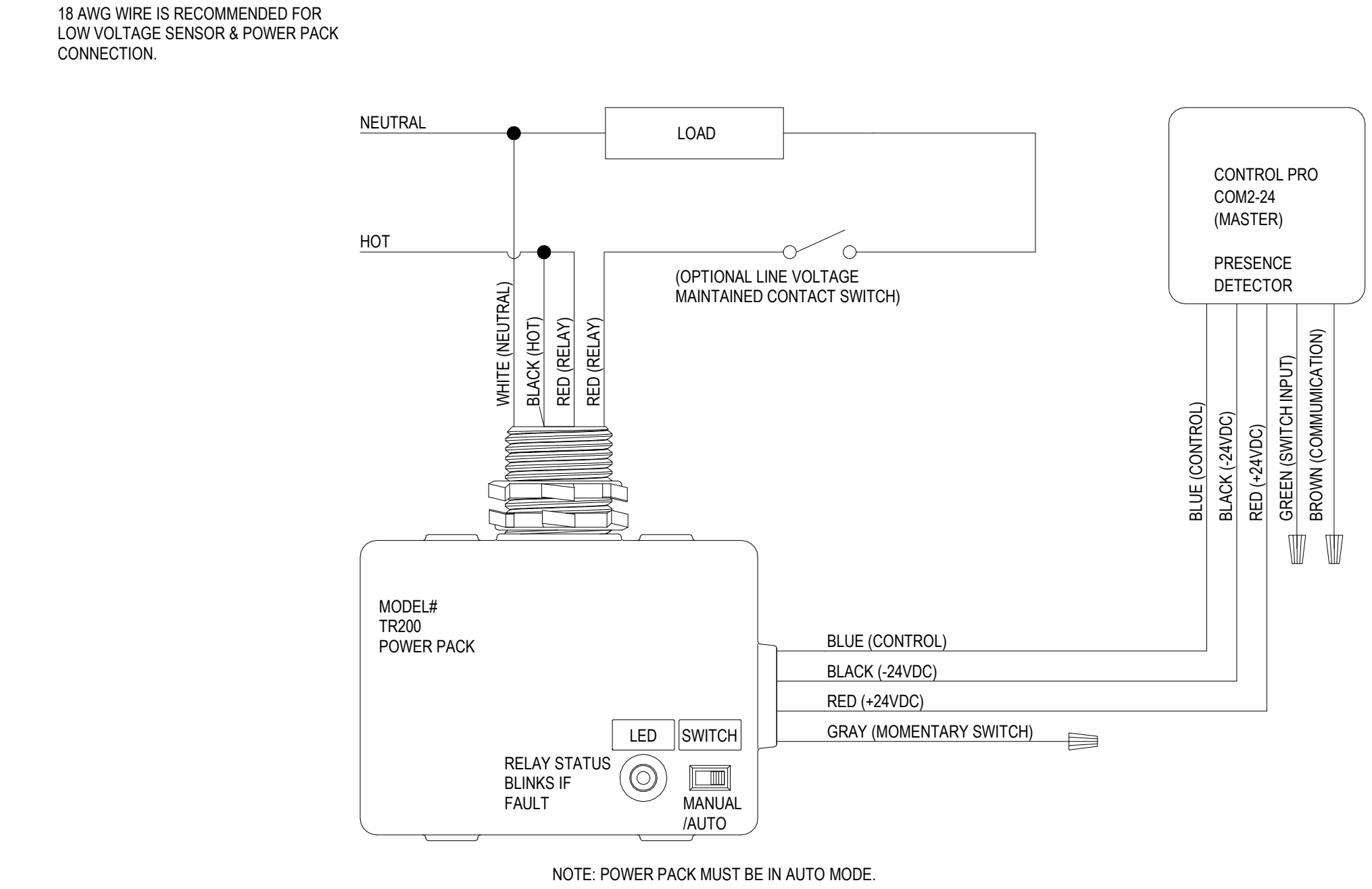
PANEL DIRECTORY table with columns for 8-8-A-1, 8-8-B-2, 8-8-C-1, 8-8-A-2, 8-8-B-3, 8-8-C-2, 8-8-B-1, 8-8-B-4, 8-8-C-3

PANEL SCHEDULES

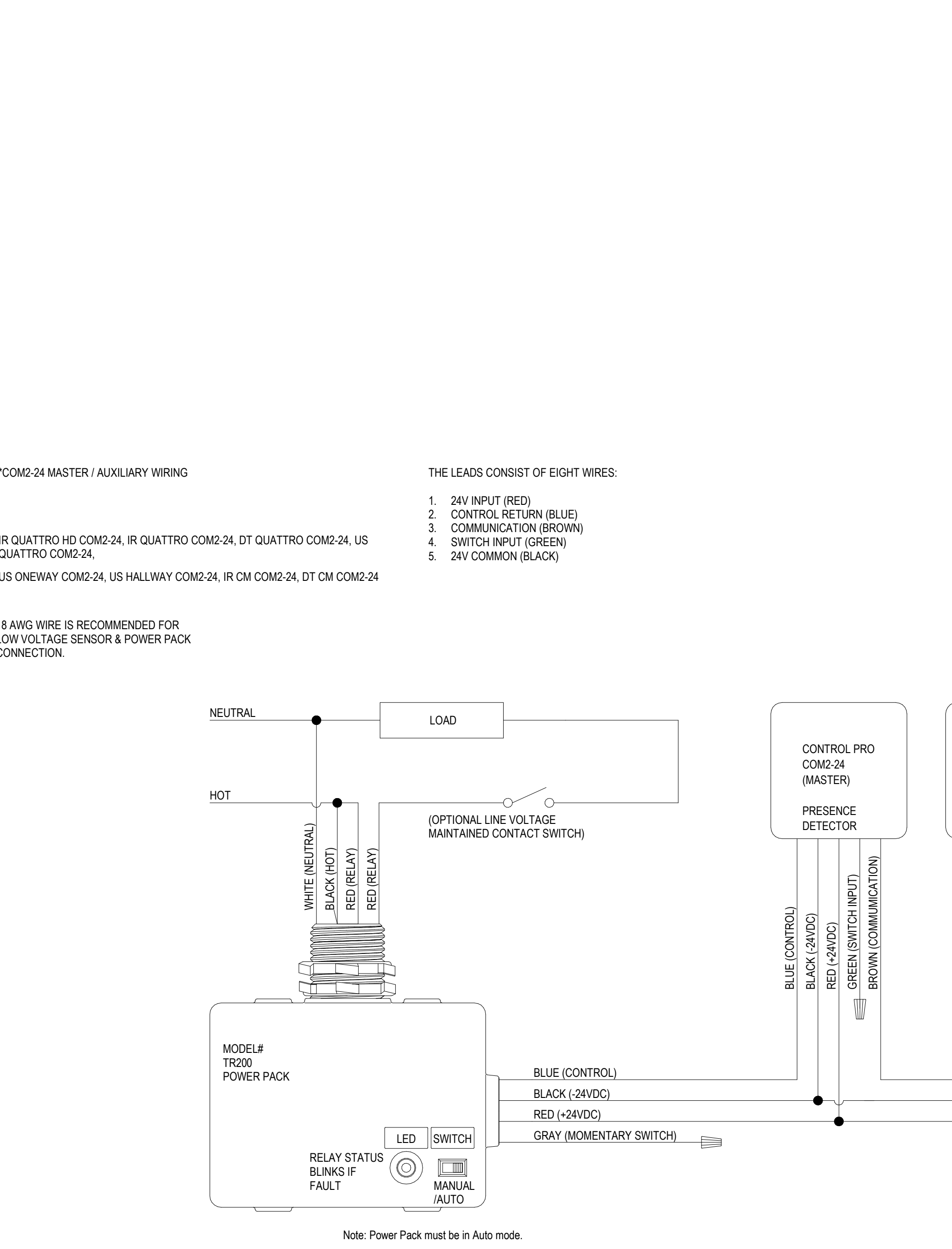


REVISED DRAWING
10/23/2024

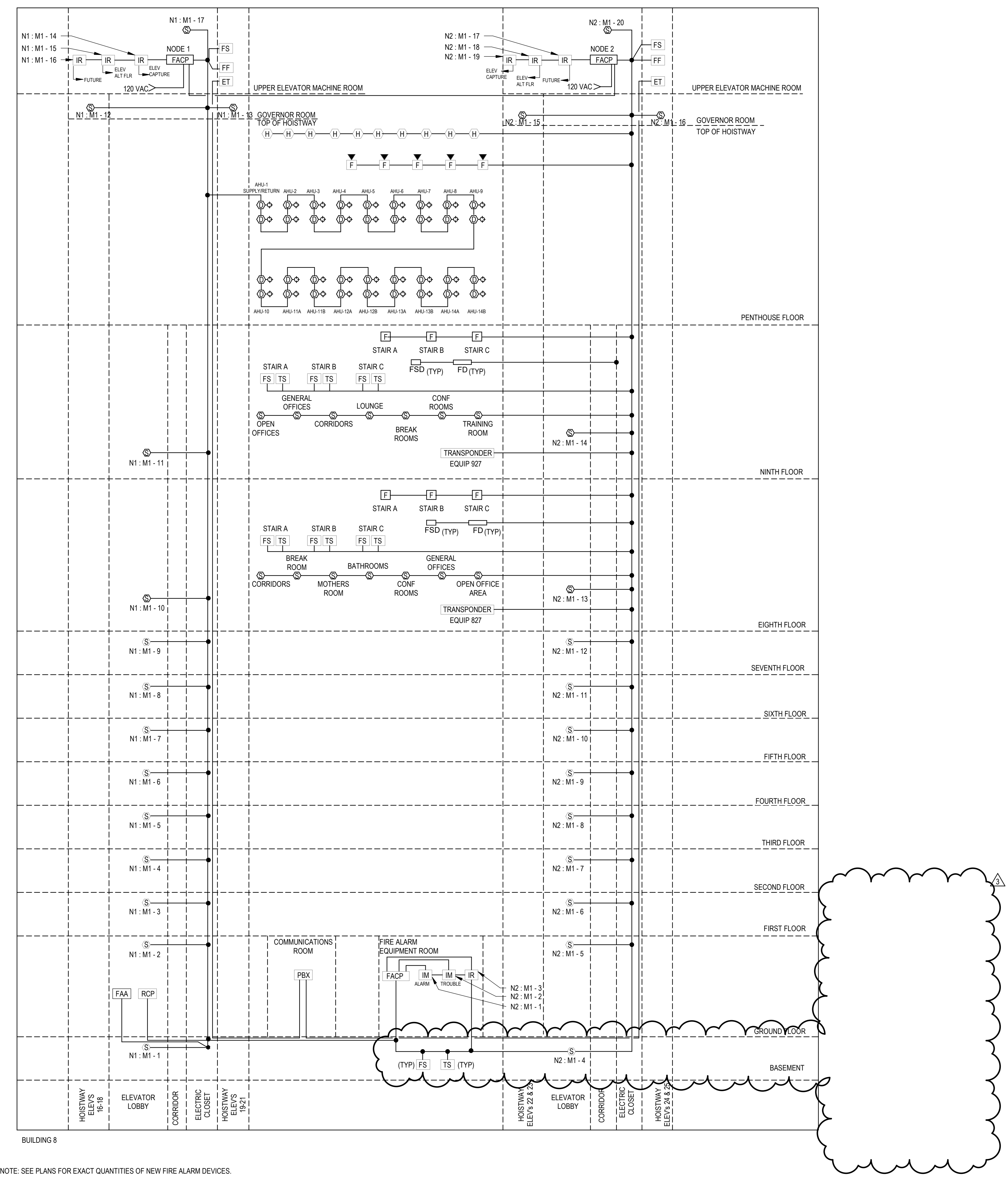
*COM2-24 MASTER / AUXILIARY WIRING
THE LEADS CONSIST OF EIGHT WIRES:
1. 24V INPUT (RED)
2. CONTROL RETURN (BLUE)
3. COMMUNICATION (BROWN)
4. SWITCH INPUT (GREEN)
5. 24V COMMON (BLACK)



*COM2-24 MASTER / AUXILIARY WIRING
THE LEADS CONSIST OF EIGHT WIRES:
1. 24V INPUT (RED)
2. CONTROL RETURN (BLUE)
3. COMMUNICATION (BROWN)
4. SWITCH INPUT (GREEN)
5. 24V COMMON (BLACK)



INDEX	DESCRIPTION	SYSTEM INPUTS	CONTROL UNIT ANNUNCIATOR	NOTIFICATION	CONTROL	SUPER STATION (SEN)
1	ADDRESSABLE SMOKE DETECTOR					
2	STARWELL SMOKE DETECTOR					
3	ADDRESSABLE HEAT DETECTOR					
4	ADDRESSABLE CO DETECTOR					
5	MANUAL PULL STATION					
6	DUCT DETECTOR					
7	ELEVATOR MACHINE ROOM - SMOKE DETECTORS					
8	ELEVATOR MACHINE ROOM - HEAT DETECTORS					
9	ELEVATOR SHAFT - SMOKE DETECTOR					
10	ELEVATOR SHAFT - HEAT DETECTOR					
11	SPRINKLER FLOW SWITCH					
12	SPRINKLER TAMPER SWITCH					
13	FIRE PUMP RUNNING					
14	FIRE PUMP POWER FAILURE/PHASE REVERSAL					
15	FIRE PUMP FAIL TO START					
16	FIRE ALARM AC POWER FAILURE					
17	FIRE ALARM SYSTEM LOW BATTERY					
18	OPEN CIRCUIT					
19	GROUND FAULT					
20	DIRTY SMOKE DETECTOR					
21	NOTIFICATION APPLIANCE CIRCUIT SHORT					
22	GENERATOR RUN					
23	GENERATOR FAIL					
24	GENERATOR LOW FUEL					
25	FIRE PUMP LOW FUEL					
26	ADDRESSABLE SMOKE/CO DETECTOR					



UNIFORM CODE STATEMENT:
TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 UNIFORM CODE.

ENERGY CODE WRITTEN STATEMENT:
TO THE BEST OF THE REGISTERED DESIGN PROFESSIONAL'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CODE.

WARNING:
THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, IS AN ACT OF ARCHITECTURE, ENGINEERING, OR LANDSCAPE ARCHITECTURE FOR A LANDSCAPE ARCHITECT. A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS 'M' MISDEMEANOR.

CONTRACT: ELECTRICAL
TITLE: RENOVATE BUILDING 8, 8TH & 9TH FLOORS
LOCATION: STATE OFFICE BUILDING CAMPUS 1220 WASHINGTON AVENUE ALBANY, NY
CLIENT: NEW YORK STATE OFFICE OF GENERAL SERVICES

PROJECT NUMBER: 45382 - E
DESIGNED BY: PMR
DRAWN BY: TJD
FIELD CHECK BY:
APPROVED BY:
SHEET TITLE: ELECTRICAL DETAILS